

STANDARD ENGINEERING NOTES

1.

THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2.

PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
3.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, LIGHTS, IRRIGATION ETC.
5.

THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO THE START OF MAINTENANCE. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CONFLICT WITH ADA OR NFHS PLAYING FIELD REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER CONTACT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
6.

THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
7.

THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO MAINTENANCE, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED AND TRANSMITTED TO THE ENGINEER.
8.

ANY INSPECTION BY ANY JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
9.

ANY HAULING PERMITS REQUIRED ARE TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
10.

ANY WATER ACCESS IS TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FIRE HYDRANT ACCESS MUST BE PERMITTED AND METERED BY THE WATER AUTHORITY AT NO ADDITIONAL COST TO THE OWNER.
11.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF WORK.
12.

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION DOCUMENTS PROVIDED WITH THIS PLAN SET.

STANDARD NOTES

1.

WORK HOURS: THE CONTRACTOR SHALL LIMIT ALL WORK AND RELATED ACTIVITIES TO THE HOURS DICTATED IN THE SPECIFICATIONS OR LOCAL ORDINANCES WHICHEVER IS MORE STRINGENT. ALL DEVIATIONS FROM THESE STATED TIMES MUST BE COORDINATED WITH THE CITY OF SPARKS PROJECT MANAGER 72 HOURS IN ADVANCE.
2.

DUST CONTROL: PRIOR TO THE COMMENCEMENT OF ANY WORK CONTRACTOR SHALL SUBMIT TO THE WASHOE COUNTY HEALTH DISTRICT - AIR QUALITY MANAGEMENT (WCHD-AQM) A PLAN FOR DUST CONTROL. THE PLAN SHALL BE IN ACCORDANCE WITH NEVADA STATE LAW. WHEN APPROVED BY THE CITY, SHALL BE REFERRED TO AS THE DUST CONTROL PLAN AND SHALL BE DEEMED A PART OF THIS AGREEMENT.
3.

WORK FENCING: CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN A TEMPORARY FENCED AREA ENCOMPASSING ALL MAINTENANCE RELATED ACTIVITIES. FENCING TO BE CHAIN LINK (NO BARB WIRE) A MINIMUM 6' HEIGHT WITH LOCKABLE GATES. IT SHALL ENCLOSE THE ENTIRE STAGING/STORAGE AREA, MAINTENANCE ACTIVITY, VEHICLES, EQUIPMENT, AND ALL MATERIALS. THE FENCE WILL REMAIN IN PLACE UNTIL THE OWNER'S REPRESENTATIVE REQUESTS REMOVAL. THE GATES SHALL BE LOCKED BY THE CONTRACTOR AT ALL TIMES THAT THE CONTRACTOR IS NOT ON SITE.
4.

SAFETY: THE CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, COUNTY, AND CITY OF SPARKS SAFETY REQUIREMENTS. ALL VEHICULAR TRAFFIC ENTERING OR DEPARTING AREAS NOT ENCLOSED WITHIN THE FENCED AREA OR ESTABLISHED PARKING LOT SHALL BE ESCORTED ON FOOT BY THE CONTRACTOR'S PERSONNEL. THIS ESCORT WILL TO ASCERTAIN NO INDIVIDUALS ARE IN HARMS WAY AND BE MAINTAINED UNTIL THE VEHICLE HAS ATTAINED A SAFE LOCATION OR THE PARKING LOT.
5.

UTILITIES: ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROVAL OF THE CITY OF SPARKS PROJECT MANAGER 72 HOURS IN ADVANCE VIA EMAIL. SHUT-DOWNS WILL INCLUDE AN ESTIMATE OF THE REQUIRED DOWN TIME. A DISTURBANCE PERMIT MUST BE SUBMITTED TO THE CITY OF SPARKS PROJECT MANAGER.
6.

COORDINATION: CONTRACTOR SHALL NOT CONVERSE OR COORDINATE WITH THE CITY OF SPARKS WITHOUT PERMISSION OF THE CITY OF SPARKS PROJECT MANAGER. ALL PROJECT COORDINATING, MODIFICATIONS OR CONTRACTUAL ISSUES MUST BE MADE THROUGH THE CITY OF SPARKS PROJECT MANAGER AND ENGINEER.

STANDARD BMP NOTES

- STANDARD NOTE NO. 1:

THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF THE CITY OF SPARKS AS A RESULT OF MAINTENANCE ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR MAINTENANCE PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- STANDARD NOTE NO. 2:

ADDITIONAL SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- STANDARD NOTE NO. 3:

TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000.
- STANDARD NOTE NO. 4:

AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPS WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000.
- STANDARD NOTE NO. 5:

ACCUMULATED SEDIMENT IN BMPS SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

CITY OF SPARKS

GOLDEN EAGLE REGIONAL PARK FIELDS 5 & 6

SYNTHETIC TURF OUTFIELD RESURFACING PROJECT

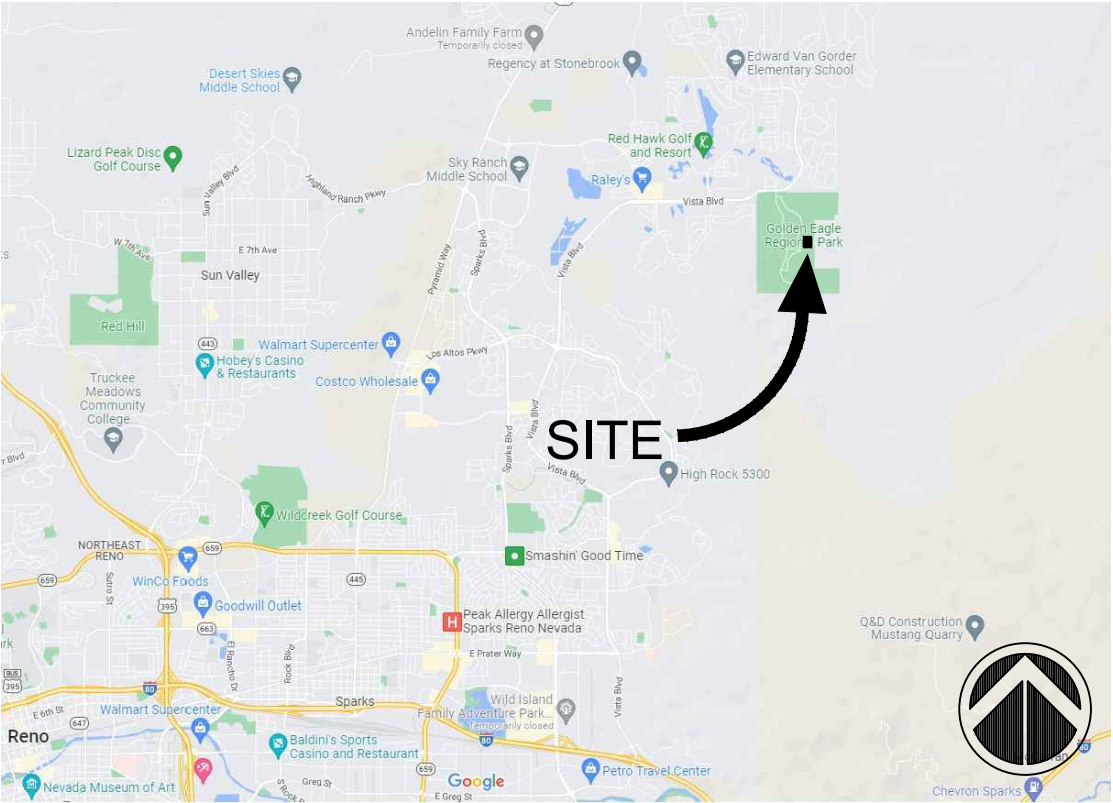
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LOCATION MAP
N.T.S.



SITE ACCESS AND LOGISTICS
N.T.S.



VICINITY MAP
N.T.S.

SHEET INDEX

PF-00	COVER SHEET
PF-01	TEMPORARY BMP PLAN & DETAILS
PF-02	EXISTING CONDITIONS & DEMO PLAN
PF-03	DRAINAGE PLAN
PF-04	SURFACING PLAN
PF-05	GRAPHICS PLAN
PF-06	DETAILS PLAN

OWNER

AMBER L. SOSA, PE
CITY ENGINEER
CITY OF SPARKS
431 PRATER WAY
SPARKS, NV 89431

ENGINEER

SAMUEL WISE, PE
LLOYD CONSULTING GROUP LLC
10836 PEBBLE HILL DRIVE
RENO, NV 89521
EMAIL: SWISE@LLOYDENGINEERS.COM

SCOPE OF WORK

THE PROJECT SCOPE OF WORK INCLUDES REMOVAL OF EXISTING BASEBALL FIELD SYNTHETIC TURF OUTFIELDS, REHABILITATION OF DRAINAGE TRENCHES, AND INSTALLATION OF NEW SYNTHETIC TURF FIELD SYSTEM (INCLUDING SYNTHETIC TURF, AND INFILL) AT GOLDEN EAGLE REGIONAL PARK FIELDS 5 & 6.

BENCHMARK

DATUM: NAVD 88
PROJECT BENCHMARK = CITY OF SPARKS BENCHMARK NO. 110
HAVING AN ELEVATION OF 4509.99'

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS BASED ON THE NEVADA STATE PLANE COORDINATE SYSTEM OF 1983, WEST ZONE, NAD 83/94, DISTANCES SHOWN ARE GROUND DISTANCES USING A PROJECT COMBINED GRID TO GROUND SCALE FACTOR OF 1.000197939.

APPROVALS

SIGNATURE _____ DATE _____

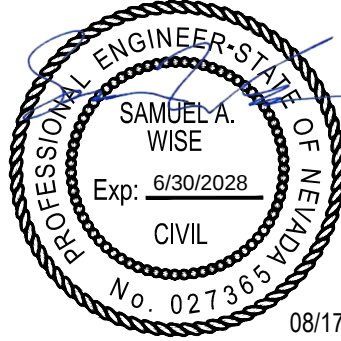
NANCY O'CONNER, CPRP
CITY OF SPARKS
PARKS AND RECREATION DIRECTOR



960 W. ELLIOT ROAD
SUITE 213
TEMPE, AZ 85284
PH 602.635.4226



CONSTRUCTION
DOCUMENTS



REV.	

GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING

6400 VISTA BOULEVARD SPARKS, NV

PM:	SAW
DRAWN:	ANS
DATE:	08/13/2026
PROJECT NO:	26-172

COVER SHEET

DWG. NO.

PF-00

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TEMPORARY BMP PLAN KEYNOTES

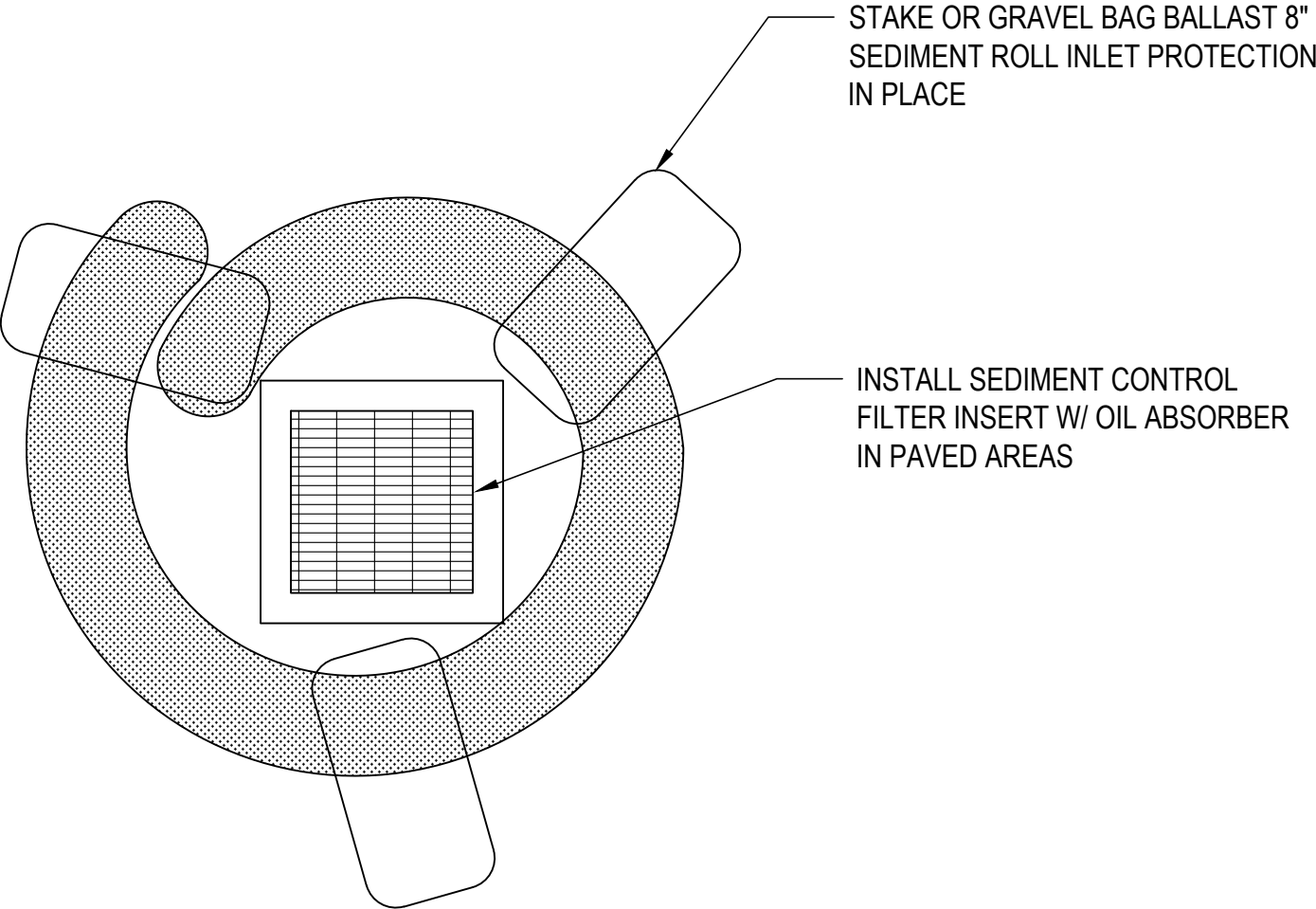
- 1 CONSTRUCTION ENTRANCE TRACK OUT WITH RUMBLE PLATES PER DETAIL 1 THIS SHEET. COORDINATE WITH CITY FOR TEMPORARY BOLLARD REMOVAL AT ACCESS POINT.
- 2 FIBER SEDIMENT ROLLS AROUND STAGING AREA, STOCKPILES, AND ACCESS ROUTES PER DETAIL 2 THIS SHEET TO PREVENT TRAVEL OF SEDIMENT.
- 3 TEMPORARY INLET PROTECTION ON EXISTING CATCH BASINS AND CURB OPENINGS AT EXISTING ROADWAY. LOCATIONS PER PLAN, PER DETAIL 3 THIS SHEET.
- 4 STOCKPILE MANAGEMENT FOR MATERIALS STAGED ON-SITE THROUGHOUT CONSTRUCTION PER DETAIL 4 THIS SHEET.
- 5 TEMPORARY GUTTER PROTECTION WITH ROCK BAGS AT PUBLIC CURB & GUTTER.

TEMPORARY BMP PLAN GENERAL NOTES

- 1. SEE STANDARD BMP NOTES ON THE COVER SHEET PF-00 FOR MINIMUM BEST MANAGEMENT PRACTICES REQUIRED FOR THE PROJECT.

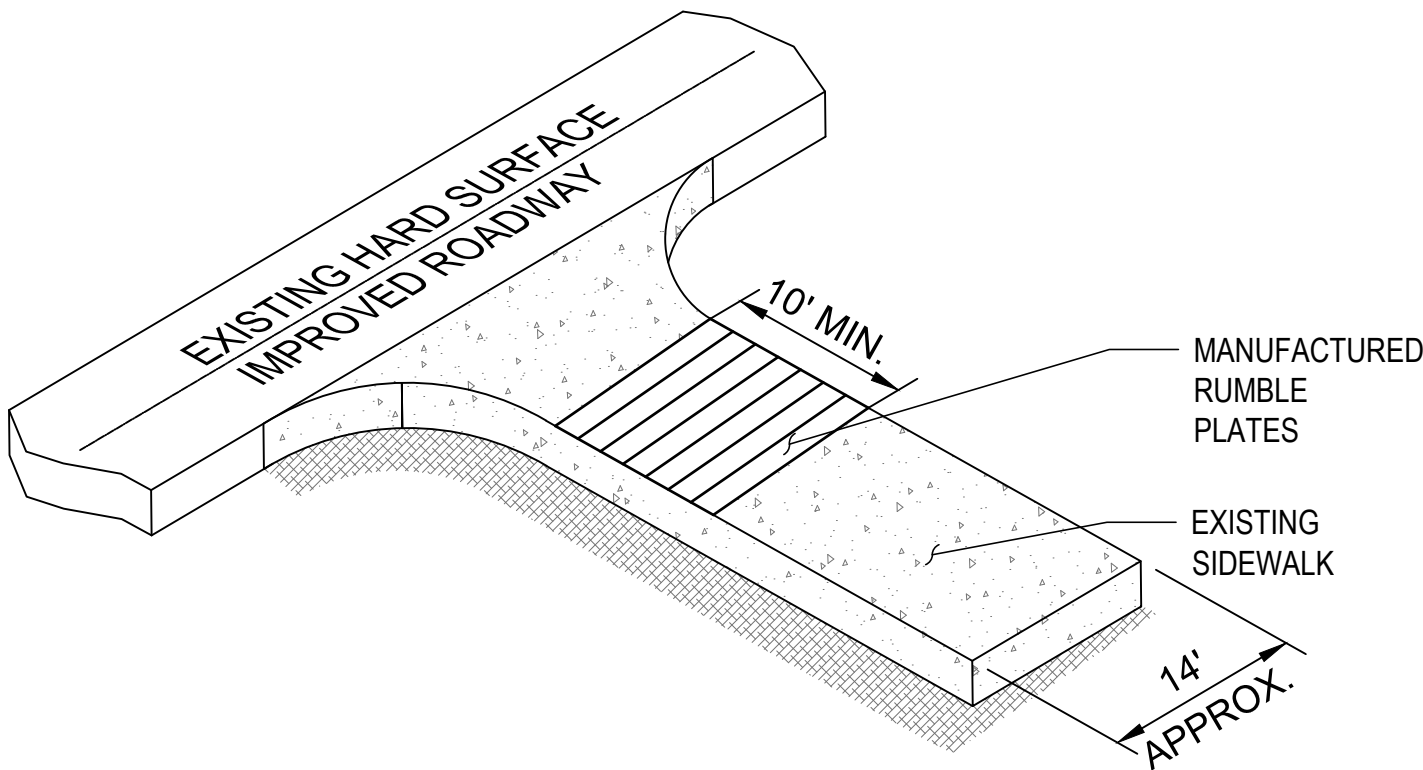
TEMPORARY BMP PLAN LEGEND

- > STORM WATER FLOW DIRECTION
- [Hatched Box] CONSTRUCTION ENTRANCE
- [Cross-hatched Box] MATERIALS STORAGE
- SEDIMENT FIBER ROLLS
- LIMIT OF CONSTRUCTION
- CONSTRUCTION ACCESS PATH
- [Grid Box] CATCH BASIN
- [Circle with Dot] INLET / GUTTER PROTECTION

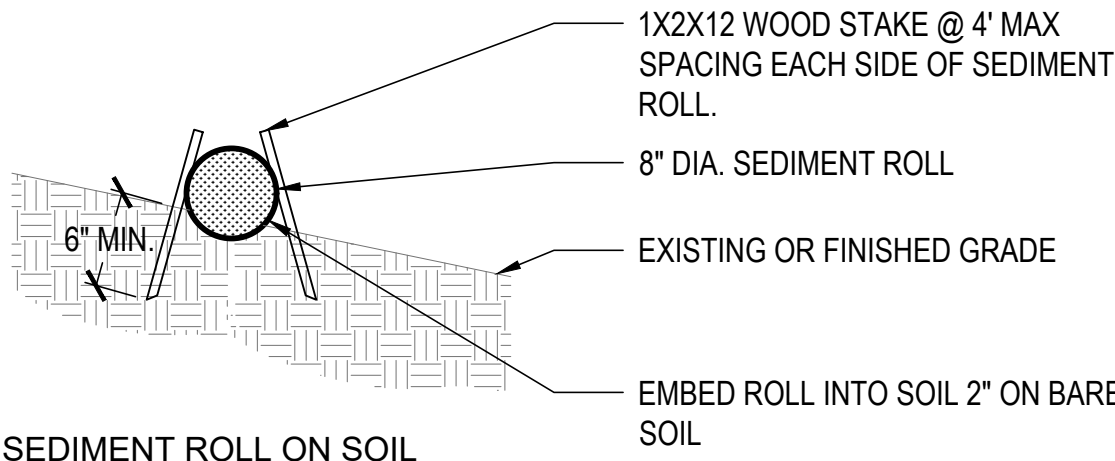
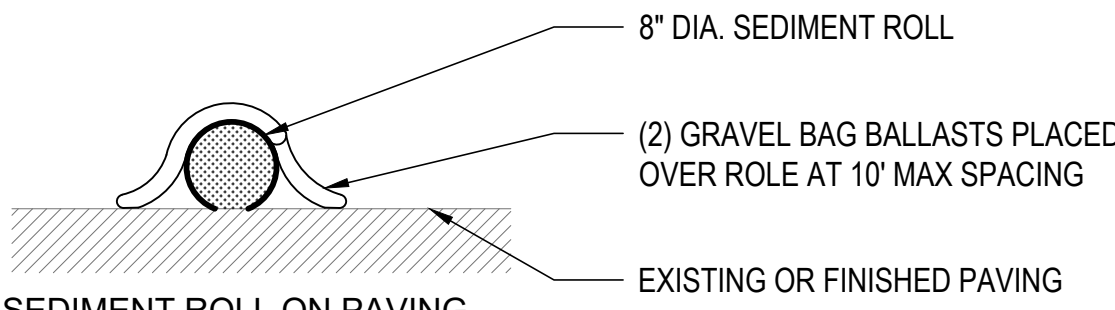


- NOTE:
- 1. FURNISH AND INSTALL SEDIMENT CONTROL FILTER INSERT OF APPROPRIATE SIZE FOR INLET AS RECOMMENDED BY MANUFACTURER.
 - 2. INSPECT AND MAINTAIN INLET PROTECTION MEASURES PER PROJECT REQUIREMENTS.

3 INLET PROTECTION
NTS

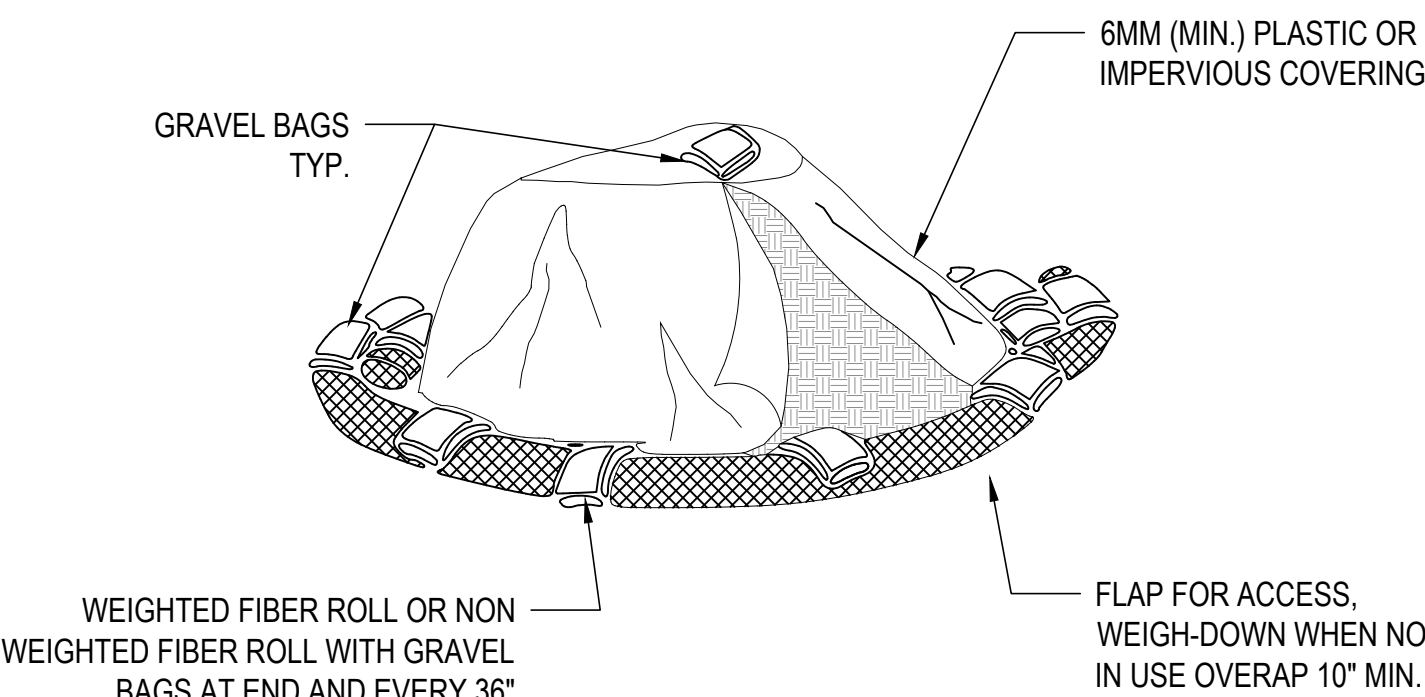


1 CONSTRUCTION ENTRANCE
NTS



- NOTE:
- 1. SEDIMENT ROLLS MAY BE FIBER ROLL LOGS OR WATTLES.
 - 2. ROLLS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND THESE DETAILS.
 - 3. OVERLAP ROLLS 12" AT ENDS.
 - 4. REPLACE ROLLS AS NEEDED DURING CONSTRUCTION TO MAINTAIN INTACT SEDIMENT CONTROL.

2 SEDIMENT ROLL
NTS

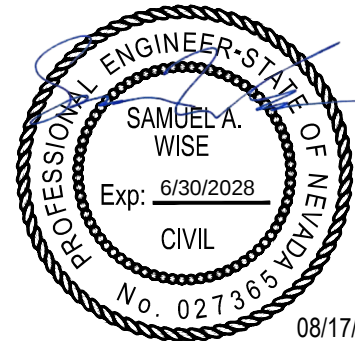


- NOTE:
- 1. LOCATE STOCK AND/OR SPOIL PILES AWAY FROM DRAINAGE COURSES, DRAIN INLETS OR CONCENTRATED FLOWS OF STORMWATER.
 - 2. ALL STOCK AND/OR SPOIL PILE PERIMETERS SHALL BE PROTECTED WITH TEMPORARY LINEAR SEDIMENT BARRIERS.
 - 3. COVER ALL STOCK AND/OR SPOIL PILES WITH 6MM PLASTIC, CANVAS TARP OR IMPERVIOUS COVER TO PREVENT WIND AND RAIN EROSION. EVENLY SPACE WEIGHTS (GRAVEL BAGS) ON COVER TO KEEP IN PLACE DURING WIND.
 - 4. CONDUCT REGULAR INSPECTIONS OF STOCK AND/OR SPOIL PILES DURING AND AFTER RAIN EVENTS.
 - 5. VERY LARGE STOCK AND/OR SPOIL PILES MAY REQUIRE SILT FENCE IN LIEU OF FIBER ROLLS.
 - 6. REMOVE SPOIL PILES FROM CONSTRUCTION SITE AS SOON AS POSSIBLE.
 - 7. STOCK/SPOIL PILES MUST BE STORED WITHIN THE APPROVED STAGING AREA.

4 STOCKPILE MANAGEMENT
NTS



CONSTRUCTION
DOCUMENTS

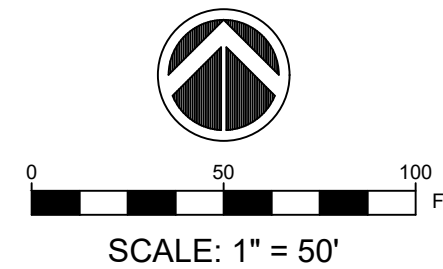


REV.	

GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING

6400 VISTA BOULEVARD SPARKS, NV

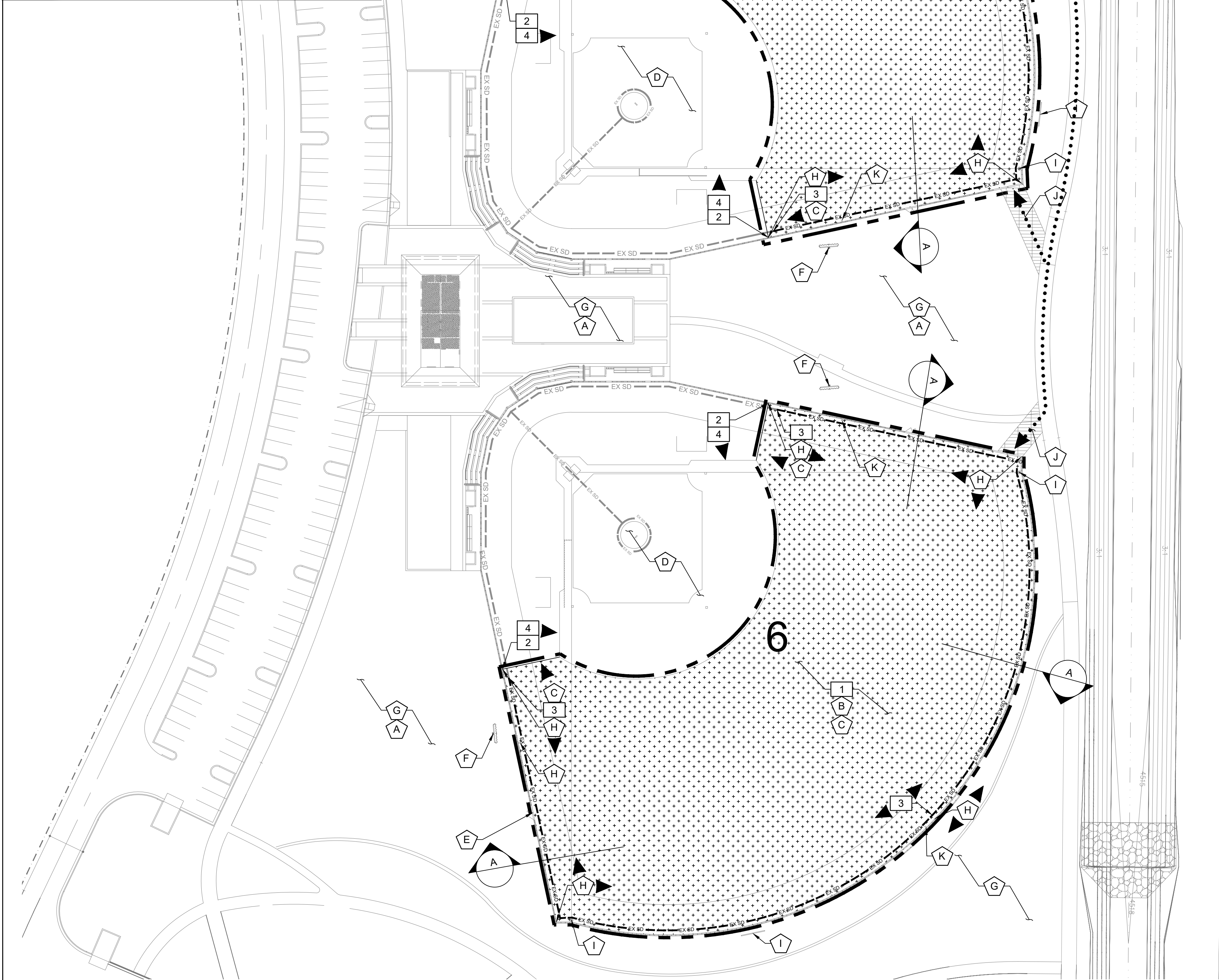
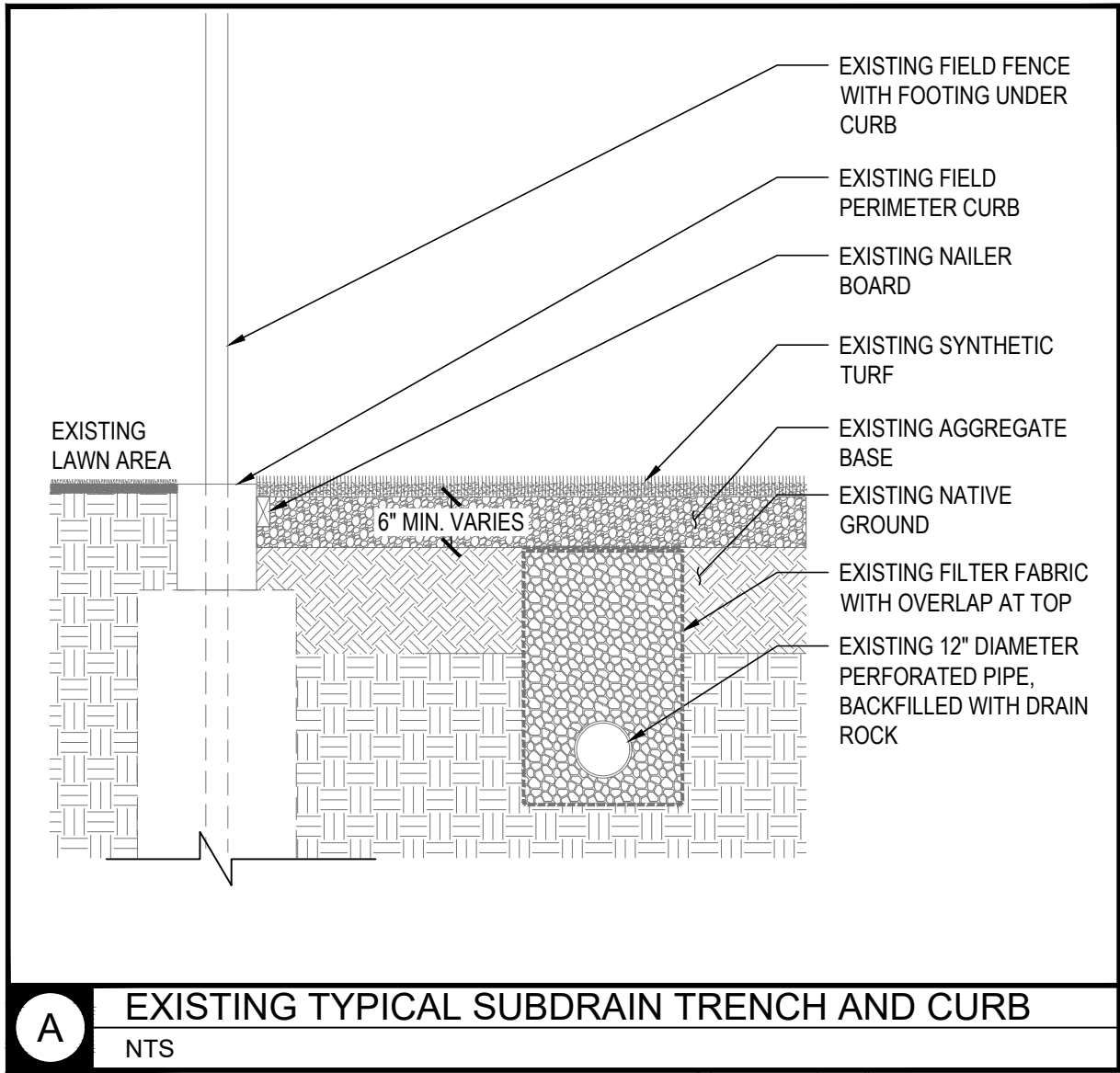
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PROJECT NO:	26-172



TEMPORARY BMP
PLAN & DETAILS

DWG. NO.

PF-01



DEMOLITION NOTES:

- 1 REMOVE EXISTING SYNTHETIC TURF AND INFILL. DISPOSE OF TURF AND INFILL PER LOCAL CODES AND REQUIREMENTS.
- 2 THE LIMITS OF DEMOLITION SHALL ALIGN WITH THE FIELD FENCE AND CURB. PROVIDE A LOGICALLY AND VISUALLY CORRECT TERMINATION TO TRANSITION FROM EXISTING TO NEW.
- 3 EXCAVATE AGGREGATE BASE AND DRAIN ROCK TO SPRING LINE OF DRAINAGE PIPE, AREA OF EXCAVATION PER PLAN.
- 4 CUT SEAM AT INFIELD/OUTFIELD ARC AND PREPARE CLEAN EDGE FOR NEW OUTFIELD SYNTHETIC TURF TO TIE INTO INFIELD TURF.

PROTECT IN PLACE NOTES:

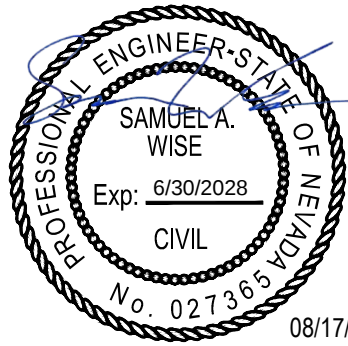
- A CONTRACTOR MUST PROTECT IN PLACE CONCRETE CURBS, FLATWORK, FOUNDATIONS AND PAVERS. ANY SECTIONS DAMAGED DURING CONSTRUCTION MUST BE REPLACED TO MATCH CONDITIONS.
- B PROTECT IN PLACE FIELD SUBGRADE AND AGGREGATE BASE.
- C PROTECT IN PLACE STORM DRAIN, FIELD SUBDRAINS AND TRENCHES.
- D PROTECT IN PLACE SYNTHETIC TURF INFIELD.
- E PROTECT IN PLACE FIELD ACCESS GATES.
- F PROTECT IN PLACE SPORTS LIGHTING.
- G PROTECT IN PLACE NATURAL GRASS, TREES, MOW CURBS, IRRIGATION, AND LANDSCAPING.
- H PROTECT IN PLACE FIELD PERIMETER CURBS, FENCING, AND NAILER BOARDS. ANY EXISTING NAILER BOARDS ROTTING, DETERIORATING, OR UNUSABLE SHALL BE REPLACED WITH PLASTIC TREX NAILER BOARD.
- I PROTECT IN PLACE FOUL POLES AND SCOREBOARDS.
- J PROTECT IN PLACE GRASS PAVERS AT FIELD ACCESS. PLACE 2 LAYERS OF 3/4\"/>

GENERAL NOTES:

1. CONTRACTOR MUST REMOVE AND DISPOSE OF ALL WEEDS AND LOOSE MATERIALS INCLUDING SAND AND RUBBER INFILL FROM SYNTHETIC TURF.
2. STORM DRAIN FACILITIES WITHIN THE LIMITS OF CONSTRUCTION MUST BE PROTECTED FROM CONSTRUCTION DEBRIS INTRUSION AND MUST BE FLUSHED OUT AND CLEANED BY THE CONTRACTOR AT THE END OF CONSTRUCTION.
3. THE CONTRACTOR MUST PROTECT IN PLACE ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES DAMAGED DURING CONSTRUCTION.
4. CONTRACTOR MUST PROTECT TURF, CONCRETE, AND LANDSCAPE AREAS TO REMAIN THAT WILL BE USED AS ACCESS AND TRAVEL WAY FROM MAINTENANCE GATES TO OUTFIELD ZONE WORK AREAS. OWNER MUST REVIEW AND APPROVE LOGISTICS AND PROTECTION PLAN TO AVOID DAMAGE TO PLAYING FIELD SURFACES THAT ARE REMAINING.
5. LIMITS OF DEMOLITION ARE TO BE 4' OUTSIDE OUTFIELD SKIN AREA ON ARC AND EXPANDING TO 12' AT FOUL LINE AS SHOWN ON ALL FIELDS.
6. LOCATE ANY POTENTIAL IRRIGATION HEADS WITHIN LIMITS OF FIELD PRIOR TO CONSTRUCTION. IF FOUND, CONTRACTOR MUST ABANDON AND BURY HEAD FLUSH WITH TOP OF STONE.
7. CONTRACTOR SHALL MAINTAIN FIELD AGGREGATE BASE PROFILE THROUGHOUT CONSTRUCTION. IF THE EXISTING FIELD AGGREGATE BASE BECOMES SEGREGATED OR UNSTABLE DUE TO CONSTRUCTION TRAFFIC OR OPERATIONS, CONTRACTOR SHALL STABILIZE AT NO COST TO THE OWNER.

LEGEND:

- SYNTHETIC TURF SURFACE TO REMAIN
- SYNTHETIC TURF SURFACE TO BE REMOVED
- GRASS PAVERS AT FIELD ENTRANCE
- LIMITS OF CONSTRUCTION
- UNDERGROUND PERIMETER DRAIN
- CONSTRUCTION ACCESS PATH

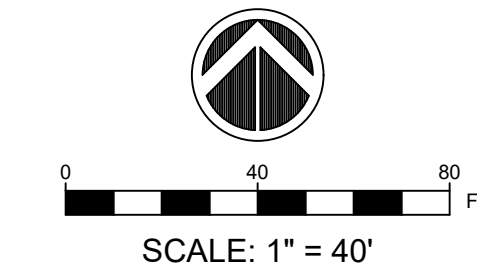


REV.

GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
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RESURFACING

6400 VISTA BOULEVARD SPARKS, NV

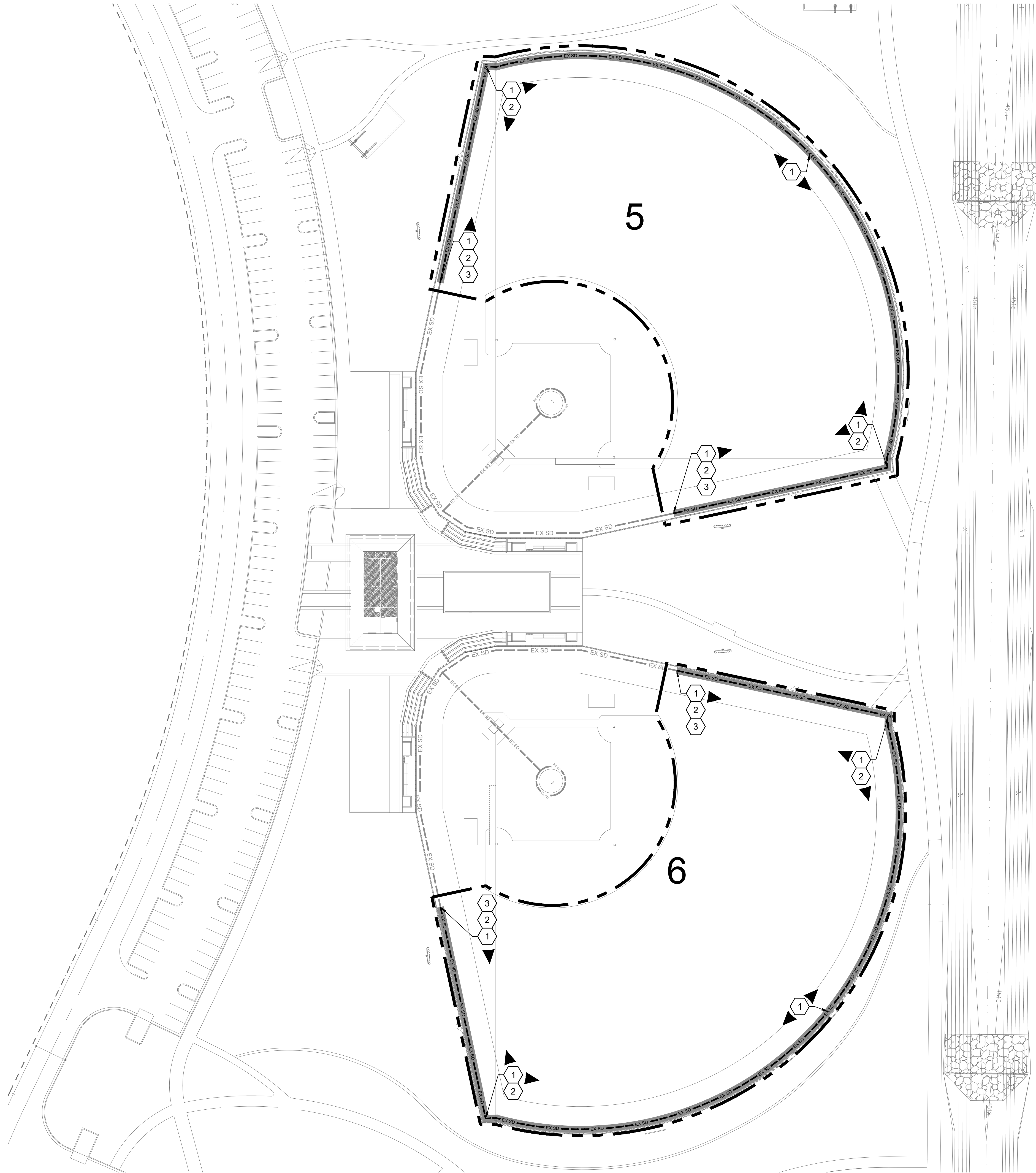
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EXISTING
CONDITIONS &
DEMO PLAN
DWG. NO.

PF-02

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DRAINAGE KEY NOTES:

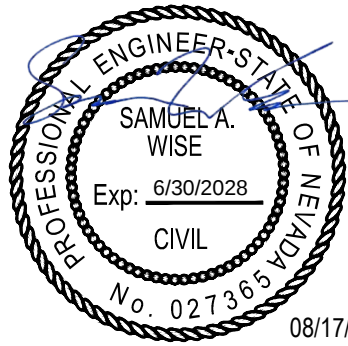
- 1 EXCAVATE DRAIN TRENCH DOWN TO LAYER OF NON-WOVEN GEOTEXTILE FABRIC. DISPOSE OF TOP LAYER OF MATERIAL FROM TRENCH. CUT EXISTING FABRIC, REVEALED ALONG CENTERLINE AND PEEL BACK ALONG SIDEWALLS OF TRENCH. PROTECT STORM DRAIN LINE AND REPLACE ANY DAMAGED FITTINGS OR PIPES.
- 2 INSTALL NON-WOVEN GEOTEXTILE FABRIC ALONG SIDEWALLS OF TRENCH AND BACKFILL WITH NEW WASHED 3/4" FRACTURED DRAIN STONE IN 8" MAX LIFTS, PER DETAIL 1, SHEET PF-06.
- 3 END INSTALLATION OF NEW DRAIN STONE 5 FEET OFF OF NEW TURF EDGE.

DRAINAGE NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
3. ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
4. PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLING. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED. CONTRACTOR SHALL FLUSH AND RUN CAMERAS THROUGH EXISTING DRAINAGE SYSTEM WITHIN LIMIT OF WORK TO VERIFY SYSTEM'S INTEGRITY.
5. LENGTHS OF DRAIN LINES BETWEEN PROPOSED AND EXISTING ELEMENTS AND INVERT ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ON EXISTING DRAIN LINES ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

LEGEND:

- LIMITS OF CONSTRUCTION
- EX SD --- EXISTING 12" PERFORATED STORM DRAIN TRENCH TO BE REPLACED
- EX SD --- EXISTING 12" PERFORATED STORM DRAIN
- 1 KEYNOTE CALLOUT SYMBOL

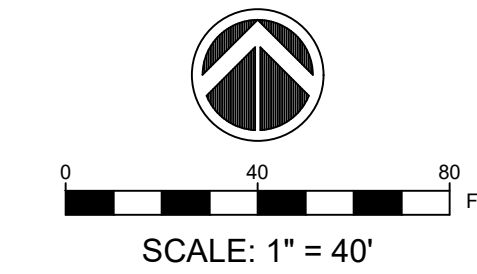


REV.

**GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING**

6400 VISTA BOULEVARD SPARKS, NV

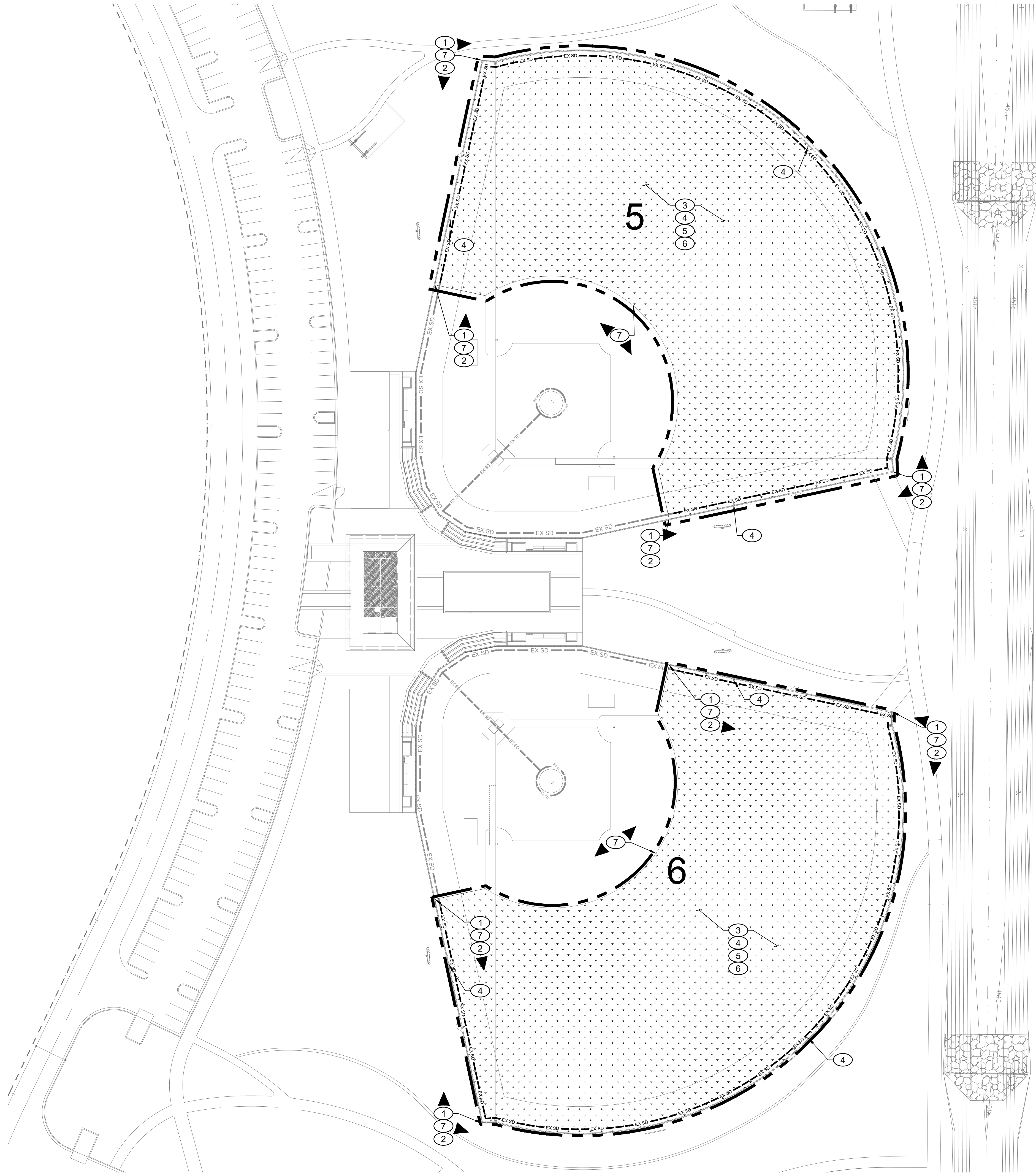
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DRAINAGE PLAN

DWG. NO.
PF-03

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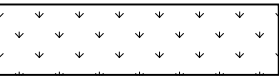
SURFACING KEYNOTES:

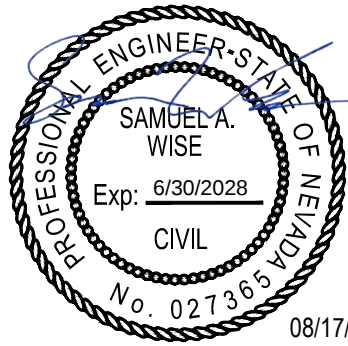
- 1 ADJUST PLAYING FIELD BASE ELEVATIONS AT FIELD PERIMETER AND TO NAILER BOARD TO MAINTAIN SMOOTH/FLUSH TRANSITION BETWEEN TURF AND CONCRETE CURB / SIDEWALK WITH NO GRADING GAP OR LIP. ANY NAILER BOARD THAT IS ROTTING, DETERIORATED, OR UNUSABLE SHALL BE REPLACED WITH A PLASTIC TREX NAILER BOARD. SEE DETAIL 5 ON SHEET PF-06.
- 2 ATTACH SYNTHETIC TURF TO NAILER BOARD PER DETAIL 4 ON SHEET PF-06.
- 3 ADJUST PLAYING FIELD BASE TO CORRECT ANY RIDGES OR DEPRESSIONS IN PLAYING FIELD BASE THAT DO NOT MEET GRADING TOLERANCES PER THE SPECIFICATIONS.
- 4 ATTACH INFILLED SYNTHETIC TURF TO EDGE OF ALL EXISTING IRRIGATION, COMMUNICATION OR OTHER UTILITY BOX EDGES WITHIN TURF AREA. ALL BOXES MUST HAVE TURF WITH FOAM BACKING GLUED TO LIDS AND BE RAISED OR LOWERED AS REQUIRED TO PROVIDE SMOOTH PLAYING SURFACE WITH NO DIPS, LIPS, OR GAPS.
- 5 INSTALL NEW SYNTHETIC TURF PER DETAIL 2 ON SHEET PF-06.
- 6 BACKFILL, COMPACT AND LEVEL WITH AGGREGATE BASE. SPECIFIC ATTENTION MUST BE GIVEN TO HIGH WEAR AREAS AND GATE ENTRIES.
- 7 INSTALL A SMOOTH, FLUSH TRANSITION AT INFIELD/OUTFIELD ARC, GATES, AND CURBS. BASE STONE AND SURFACE OF SYNTHETIC TURF, INCLUDING INFILL, SHALL HAVE A FLUSH TRANSITION MEETING THE PLANARITY OF THE SPECIFICATIONS. FULL GROOMING OF FIELD, INCLUDING EXISTING INFIELD IS NECESSARY TO MEET THESE REQUIREMENTS.

GENERAL NOTES:

1. ALL COMPETITION REQUIRED STRIPES AND MARKINGS MUST BE INLAID AND MUST MEET THE LATEST REQUIREMENTS OF USA BASEBALL / SOFTBALL.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF THE BASE IN THE TURF AREAS AND FOR COORDINATION WITH THE TURF INSTALLER'S WORK. TURF INSTALLER MUST SUBMIT COMPLETE SHOP DRAWINGS AND COLOR SAMPLES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF SYNTHETIC TURF. SUBMITTALS FOR SHOP DRAWINGS AND COLOR SAMPLES MUST BE IN ACCORDANCE WITH THE SPECIFICATIONS.
3. THE EXISTING DRAINAGE SYSTEM AND PERIMETER TRENCH DRAINS MUST BE MAINTAINED OR REPAIRED WHEREVER DAMAGE MAY BE DISCOVERED.

LEGEND:

-  SYNTHETIC TURF SURFACE
-  LIMITS OF CONSTRUCTION

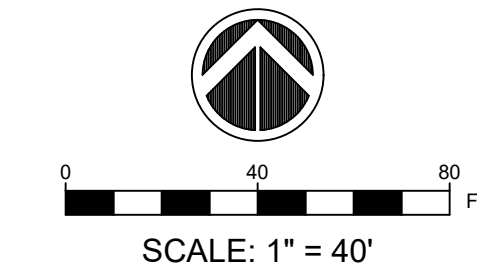


REV.

**GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING**

6400 VISTA BOULEVARD SPARKS, NV

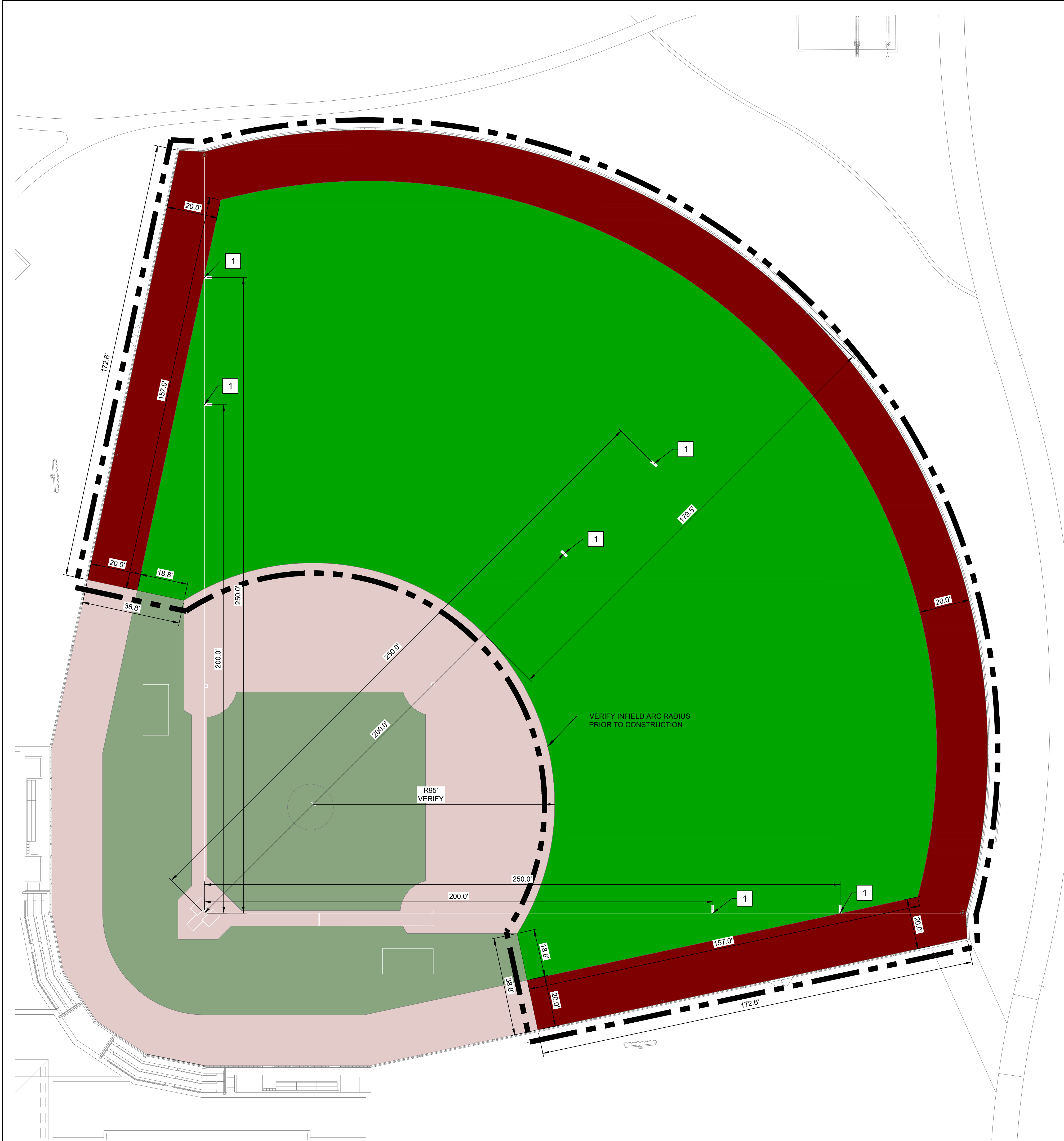
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SURFACING PLAN

DWG. NO.

PF-04



GRAPHCS KEYNOTES

- 1 INSTALL WHITE 4" WIDE 12" LONG TICK MARK AT FOUL LINES AND CENTER OUTFIELD.

GRAPHCS GENERAL NOTES

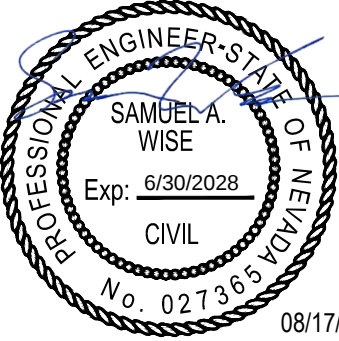
1. THIS GRAPHICS PLAN IS FOR REFERENCE ONLY. THE TURF MANUFACTURER AND INSTALLER MUST SUBMIT SHOP DRAWINGS FOR REVIEW PER SPECIFICATIONS.
2. ALL COMPETITION REQUIRED STRIPES AND MARKINGS MUST BE INLAID AND MUST MEET THE LATEST REQUIREMENTS OF USA BASEBALL / SOFTBALL RULES AND REGULATIONS.
3. TURF MAY NOT BE PURCHASED UNTIL SHOP DRAWINGS AND PHYSICAL SAMPLES ARE APPROVED IN WRITING BY THE OWNER.
4. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY NOT BE REPRESENTATIVE OF THE EXACT FIELD MEASUREMENTS. TURF INSTALLER SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING AND INSTALLATION OF TURF. IF ANY DIMENSIONS DO NOT MEET USA BASEBALL / SOFTBALL RULES AND REGULATIONS, THEY ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION.
5. GRAPHICS PLAN SHOWN IS TYPICAL FOR FIELDS 5 & 6.

GRAPHICS LEGEND

- GREEN COLOR SYNTHETIC TURF
- TERRACOTTA COLOR SYNTHETIC TURF
- EXISTING GREEN COLOR SYNTHETIC TURF
- EXISTING TERRACOTTA COLOR SYNTHETIC TURF



CONSTRUCTION
DOCUMENTS

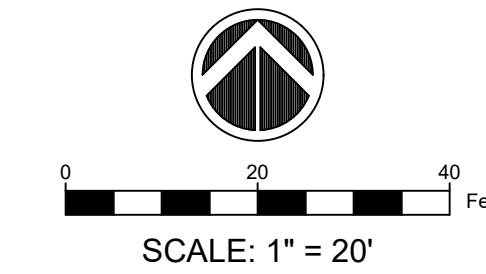


REV.

GOLDEN EAGLE
REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING

6400 VISTA BOULEVARD SPARKS, NV

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GRAPHICS PLAN

DWG. NO.
PF-05

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NOTES: - TOP OF CRUSHED DRAIN STONE SHALL BE FLUSH AND LEVEL WITH THE TOP OF SYNTHETIC TURF PERMEABLE BASE WITH MATCHING PLANARITY. - CONTRACTOR MAY TRIM FILTER FABRIC FLUSH WITH FINISHED GRADE ONCE COMPACTION AND PLANARITY HAVE BEEN ACHIEVED. - DRAIN PIPE SHALL HAVE A MINIMUM OF 12" OF DRAIN STONE COVER. - DO NOT COVER PERFORATED PIPE WITH FILTER FABRIC. 1 SYNTHETIC TURF EXISTING PERFORATED SUBDRAIN NTS	NOTES: - FINISHED GRADE (FG) REFERS TO TOP OF INFILL AT SYNTHETIC TURF. - PROTECT IN PLACE EXISTING FIELD AGGREGATE BASE SURFACE THROUGHOUT CONSTRUCTION FROM ANY SEGREGATION OR INSTABILITY. - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. 2 SYNTHETIC TURF SYSTEM NTS	NOTES: PROVIDE FINAL GROOMING OF SYNTHETIC TURF OUTFIELD AND UP TO 10' INTO THE INFIELD TO ENSURE A FLUSH TRANSITION ALONG INFIELD ARC. 3 INFIELD TO OUTFIELD TRANSITION NTS	NOTES: - CONTRACTOR IS RESPONSIBLE FOR INSTALLING FLUSH TRANSITION BETWEEN EXISTING SIDEWALK SURFACE AND NEW SYNTHETIC TURF SURFACE WITH TOP OF INFILL FLUSH WITH ADJACENT CONCRETE CURB. NO DIPS, LIPS OR GAPS ARE PERMITTED. - CONTRACTOR TO TAPER EXISTING BASE SURFACE TO ACCOMMODATE NEW SYNTHETIC TURF AT NAILER BOARD. - NAILER BOARD ELEVATION IS DEPENDENT ON SPECIFIC SYNTHETIC TURF MANUFACTURER AND TYPE SUBMITTED AND APPROVED FOR BID. CONTRACTOR MUST VERIFY INFILL DEPTH AND SET NAILER BOARD AT APPROPRIATE DEPTH BELOW TOP OF CURB. 4 SYNTHETIC TURF ATTACHMENT TO EXISTING NAILER BOARD NTS
5 SYNTHETIC TURF ATTACHMENT WITH NEW NAILER BOARD NTS	6 NOT USED	7 NOT USED	8 NOT USED
9 NOT USED	10 NOT USED	11 NOT USED	12 NOT USED

960 W. ELLIOT ROAD
SUITE 213
TEMPE, AZ 85284
PH 602.635.4226

USAN

CONSTRUCTION DOCUMENTS

REV.

GOLDEN EAGLE REGIONAL PARK
FIELDS 5 & 6
OUTFIELDS
RESURFACING

6400 VISTA BOULEVARD SPARKS, NV

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DRAWN: ANS

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PROJECT NO: 26-172

DETAILS PLAN

DWG. NO.
PF-06