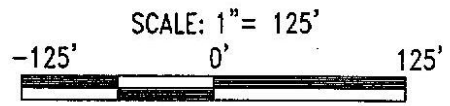



DEVELOPMENT FEATURES:

- ① EXISTING MASONRY WALL AND LANDSCAPED BAYS, SIERRA ROYAL, TO BE PRESERVED.
- ② EXISTING SIDEWALK AND CURB AND GUTTER TO REMAIN AND TO BE INCORPORATED INTO NEW DEVELOPMENT.
- ③ NEW CURB AND GUTTER.
- ④ RE-PAVE PARLANTI LANE TO DIMENSIONS INDICATED.
- ⑤ SECONDARY ACCESS GATES.
- ⑥ MAN GATE FOR ACCESS TO SIDEWALK AND SIERRA ROYAL LANDSCAPING.
- ⑦ BUFFER LANDSCAPING.

LEGEND:

-  TREES (EVERGREEN, DECIDUOUS, CONIFEROUS)
-  SHRUBS AND GROUNDCOVER
-  LAWN OR ARTIFICIAL TURF
-  BUFFER LANDSCAPING

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MARINA LANDING

PARLANTI LANE INTERFACE DETAIL
AND CONCEPTUAL LANDSCAPE PLAN

FIGURE: 16
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IV. PARKING STANDARDS

Parking layout (including the size, angle and dimensions) shall meet the minimum standards established by Sparks Municipal Code Chapter 20.49. Numbers of parking spaces for various land uses shall conform to requirements of Chapter 20.49 and shall be not less than as summarized below.

- Recreational park: 1 space at RV space plus 4 guest parking spaces
- Retail / Commercial: 1 space per 250 square feet of lease-able area
- Professional offices: 1 space per 200 square feet of net lease-able floor area
- Medical / Dental office or clinic: 1 space per 150 square feet of net lease-able floor area
- Restaurants, bars: 1 space per 100 square feet of floor area for restaurants with greater than 20 seats; for less than 20 seats, 1 space per 200 square feet.
- Child care facilities: 1 space per required employee plus 1 per each 8 children.
- Health club and /or recreation facility: 1 space per 150 square feet.
- Quick copy establishment: 1 space per 250 square feet of leaseable area.

The Marina Landing project will conform to requirements of the Sparks Marina Area Plan for bicycle parking and shall provide at a minimum of 1 bicycle parking location (minimum of 6 spaces) at each use.

V. ARCHITECTURE

The selected theme of Marina Landing will be "nautical" and seeks to incorporate the design elements of Sparks Marina Park. The architectural style of the commercial center (Buccaneer Landing) has a "boat yard" component to the buildings. The design theme incorporates design components of high pitched gabled roofs, "small pane" windows and clear stories. The design elements shall also be for signs, trash enclosures, lighting and street furniture. The architecture is intended to be light and airy and has the staggered rooflines of the Sparks Mercantile project.

The Buccaneer Landing project will be architecturally connected to the building style proposed at the Recreation Vehicle Park and Office Park. The Buccaneer Landing shows three pad areas so that the massing will be consistent with the developing E. Prater Way Professional Office I Commercial Corridor. They will have awnings and articulated fronts to break up the monotony of a continuous building front.

The Marina Recreational Vehicle Park Resort architecture will take inspiration from the design of the Wild Island Water Park with specific relation to roof treatment and colors of blue and white.

The Marina Landing project shall be developed consistently emphasizing a 'nautical theme.' The following standards apply to all development throughout Marina Landing.

GENERAL STANDARDS

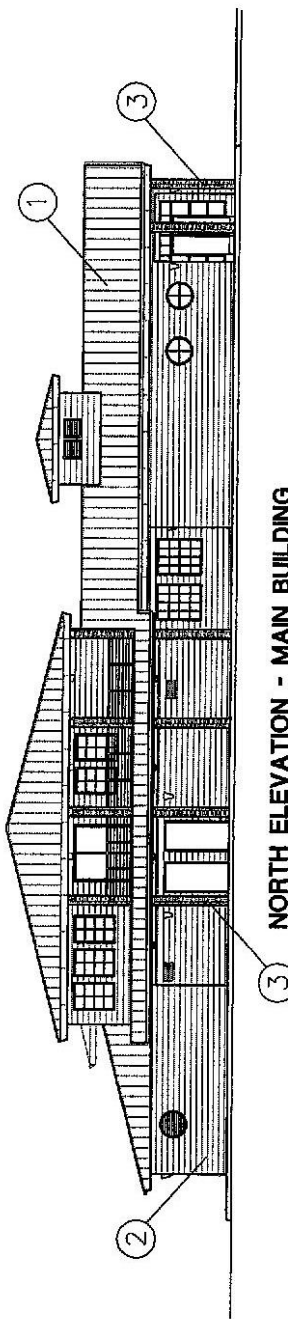
- Appropriate exterior materials shall include brick or brick tile, 'stucco,' masonry (excluding concrete block — both smooth and split face), stone or cultured stone, wood battens, glass and tile. The sole exception will be that split face masonry block will be permitted for the restroom buildings with matching blue metal roofing. Predominant exterior building materials shall not include the following: tilt-up concrete panels without fenestration or texture changes and pre-fabricated steel panels. Reflective mirror glass is prohibited.
- Buildings shall be articulated using variations or interruptions of surfaces or planes by staggered vertical planes, multiple rooflines and insets, such as windows or doorways, balconies, projections or other similar features. There shall be no wall planes or blank walls longer than 50 feet without some type of the described above articulation. Offsets/ insets shall be a minimum of 4 feet.
- Columns, projections, awnings and exterior detailing shall be used to architecturally demarcate and enhance buildings.
- Varied building heights and roof massing shall be required.

MARINA LANDING RV PARK ARCHITECTURAL STANDARDS

- The design of the buildings in the RV Park shall reflect the architectural style as illustrated in the attached rendering for the RV Park.
- All the buildings shall incorporate the architectural style as illustrated on Figure 17 which includes the clubhouse, recreation buildings, pool building, office, convenience store and laundry building and on Figure 18 for restroom buildings. The color scheme shall be blue roofing and white structures, incorporating glass and timber features.
- Integration of perimeter masonry fence, landscaping and RV spaces is illustrated on Figure 19, RV Park Cross Section Rendering.

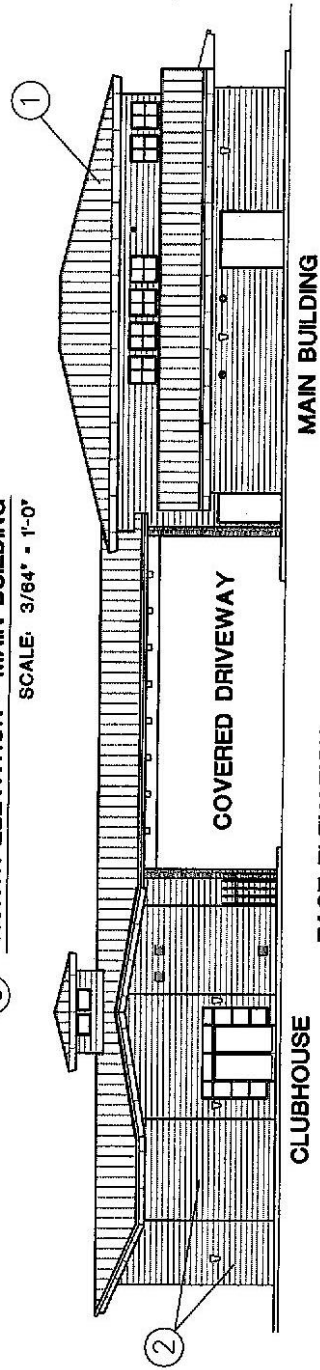
BUCCANEER LANDING ARCHITECTURAL STANDARDS

- The design of the buildings shall reflect the architectural style as illustrated in the attached rendering for the Retail Center.
- The commercial center shall have varied roofing as illustrated in the rendering for the Retail Center.
- The color scheme shall be terra cotta / rust colored roofing and white / gray structures, incorporating glass and awnings to create an airy, festive design.
- There shall be no flat roofs.
- Refer to Figure 20.



NORTH ELEVATION - MAIN BUILDING

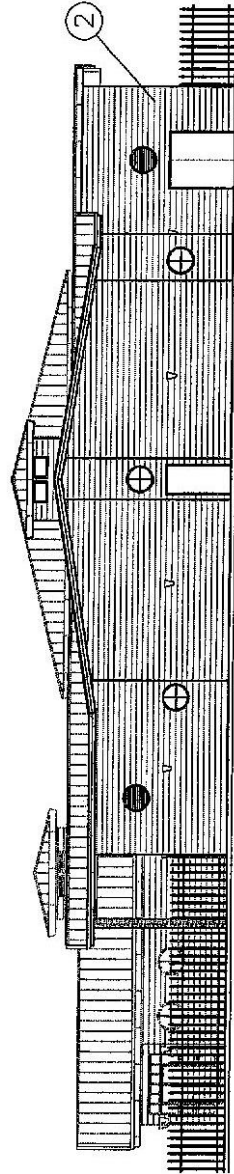
SCALE: 3/84" = 1'-0"



MAIN BUILDING

EAST ELEVATION

SCALE: 3/84" = 1'-0"



SOUTH ELEVATION - CLUBHOUSE

SCALE: 3/84" = 1'-0"

- ① STANDING SEAM METAL ROOF, MEDIUM BLUE
- ② WOOD SIDING, SKY GRAY
- ③ CULTURED STONE, GRAY



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MARINA LANDING RV PARK
CLUBHOUSE AND
ADMINISTRATION BUILDING,
ARCHITECTURAL ELEVATIONS

FIGURE: 17
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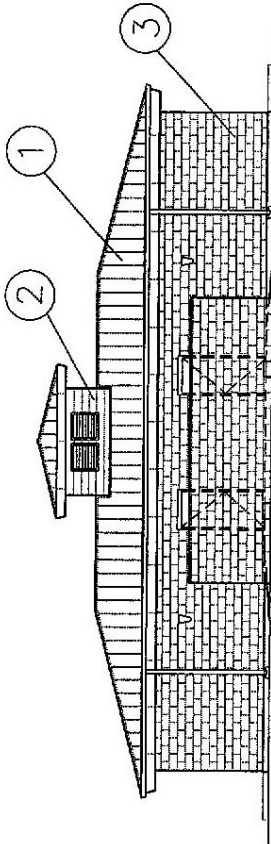
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MARINA LANDING RV PARK

RESTROOM BUILDINGS,
ARCHITECTURAL ELEVATIONS

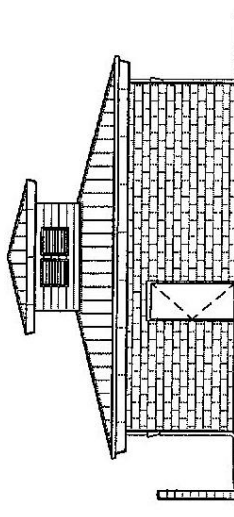
FIGURE: 18
PAGE: 41

DATE:
OCT 23, 2003
REV 3-25-04



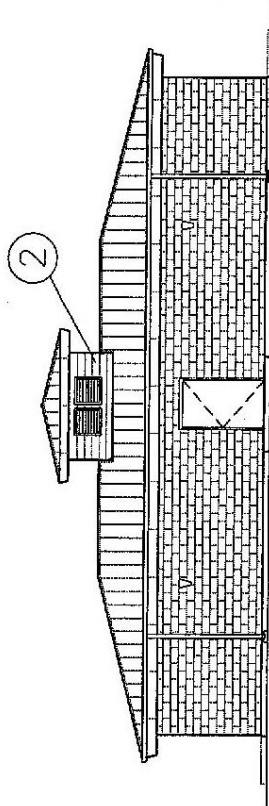
RESTROOM BUILDING EAST ELEVATION

SCALE: 1/8" = 1'-0"



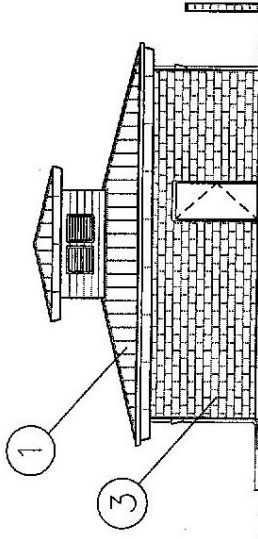
RESTROOM BUILDING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



RESTROOM BUILDING WEST ELEVATION

SCALE: 1/8" = 1'-0"



RESTROOM BUILDING SOUTH ELEVATION

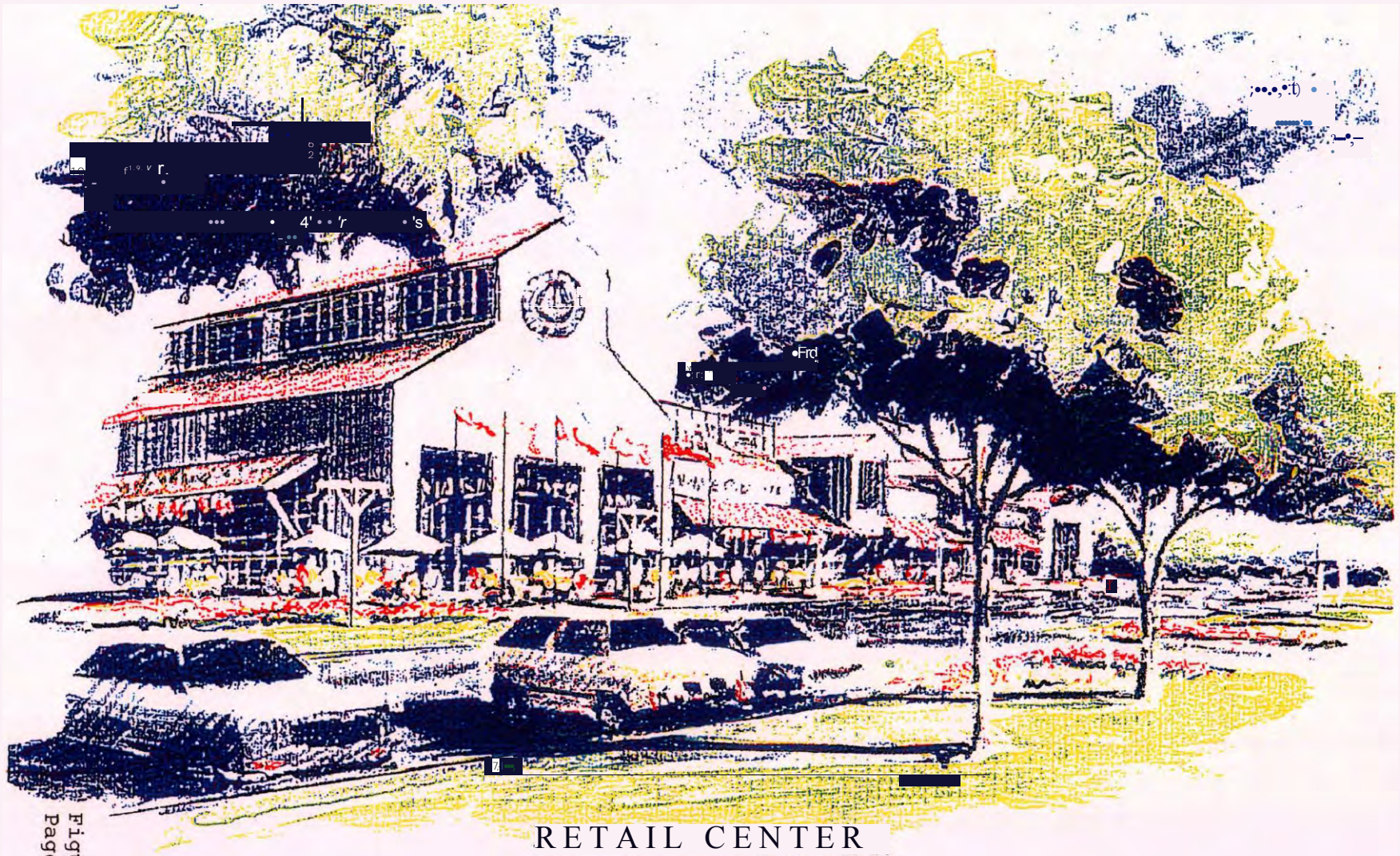
SCALE: 1/8" = 1'-0"

- ① STANDING SEAM METAL ROOF, MEDIUM BLUE
- ② WOOD SIDING, SKY GRAY
- ③ CONCRETE MASONRY, SPLIT FACE, PAINT SKY GRAY



Figure: 19
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R.V. PARK CROSS SECTION RENDERING



RETAIL CENTER

RETAIL CENTER RENDERING

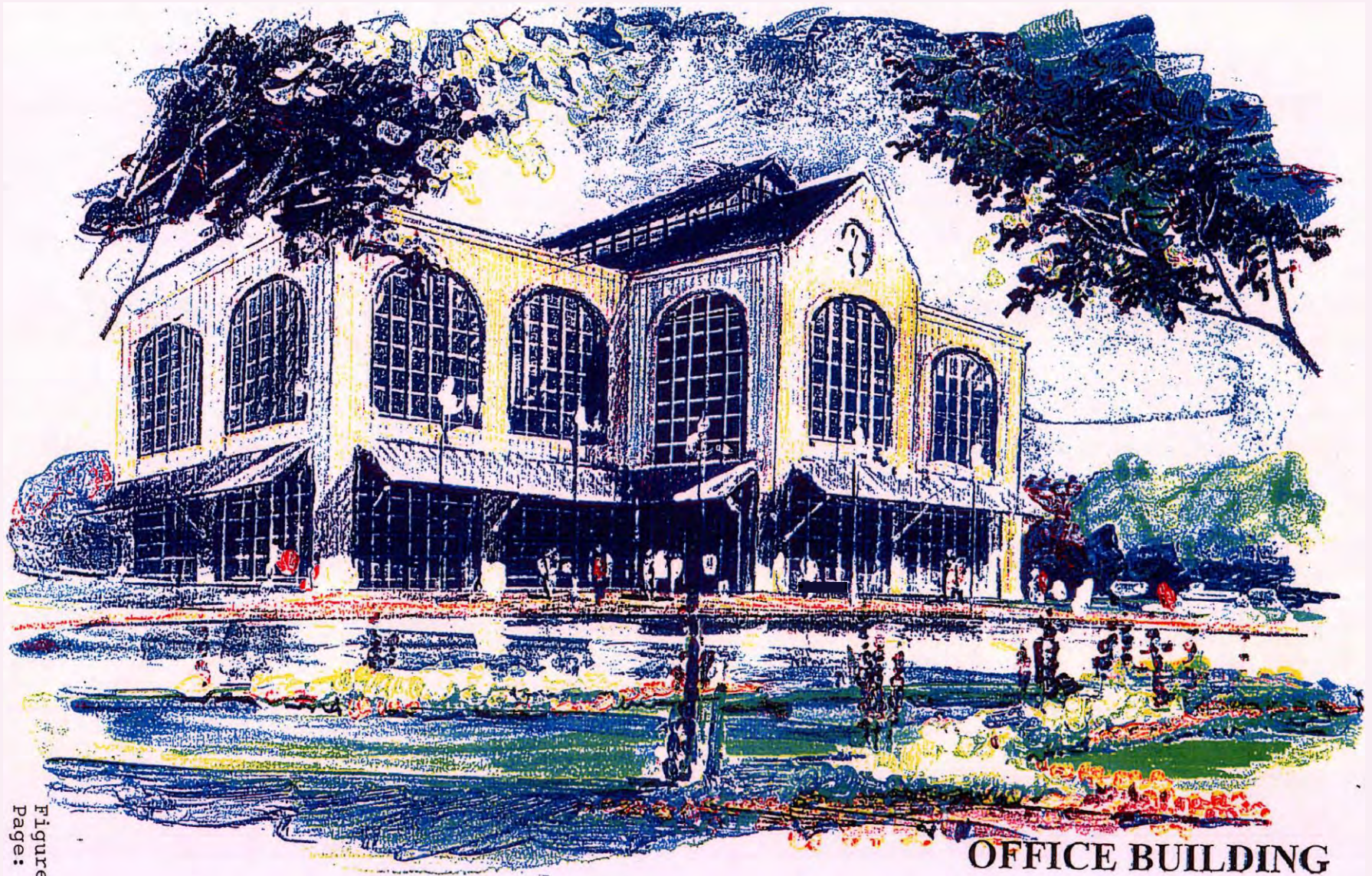


Figure
Page:

OFFICE BUILDING

OFFICE BUILDING RENDERING

VI. EXTERIOR MECHANICAL, ELECTRICAL EQUIPMENT, SERVICE AREAS AND TRASH ENCLOSURE SCREENING

The following general standards apply to all projects within the Marina Landing Planned Development.

GENERAL STANDARDS

- All exterior mechanical, electrical equipment, service areas and trash enclosures shall be screened from view from the public right-of-way and adjacent properties to the approval of the Administrator.
- The materials, colors and style used for screening must be compatible with the building architecture.
- All roof-mounted equipment shall be screened from adjacent properties and public rights-of-way. The roof-mounted equipment shall be screened by actual building elements or parapets rather than an open lattice enclosure.
- Switch boxes, transformers, electrical and gas meters and other above ground or building-mounted utility elements shall be screened or located out of view from public roads or public areas, such as exterior entrances.
- Trash dumpsters and enclosures shall be located either inside a building or behind a visual barrier screening from streets / accessways and parking lots.
- Location of trash enclosures shall be shown on final plans as part of Site Plan Review. For the RV Park, a dumpster enclosure will be located as indicated on Figure 4 adjacent to the main building.
- Outdoor storage shall be prohibited.
- The screening design shall complement the building design. The method of screening shall be architecturally integrated in terms of materials, color(s), shape and size.
- All trash enclosures shall be designed of durable materials with finishes and colors that are consistent with or complementary to the overall architectural design. The trash enclosures gates shall be durable materials that visually screen the dumpster. Loading dock areas shall be prohibited.
- The location of the trash enclosures shall be approved by both Disposal Services and the Administrator.
- For the RV Park, surface-mounted receptacles will be provided as noted in Chapter 2, Section II. Locations for trash receptacles shall be as indicated on Figure 4 and will conform to details shown on Figures 12 and 13.

VII. LANDSCAPE ARCHITECTURE

Marina Landing Planned Development contains a total of ±17.26 acres. Area of landscaping will be ±4.63 acres, including 2.26 acres of artificial turf. Landscaping is required for 20 percent of the site, ±3.45 acres. Use of artificial turf as an alternative to lawn is included in landscape area determination.

GENERAL STANDARDS

- Plant materials shall be selected from the Plant Palette in the Appendix of this Handbook.
- Landscaping in the Lincoln Way corridor shall utilize coniferous and deciduous trees so that there is color year-round and to soften the visual impact of screening walls.
- To compensate for the tapering in width of the landscape buffer from 32 to 27 feet at the Marina Lighthouse office complex, sizing of plant material shall be increased to 3 inch minimum caliper for deciduous trees and 10 feet for evergreen trees.
- All landscape areas shall be maintained in a neat and attractive condition. Minimum requirements shall include replacing dead or dying plant material, mowing, pruning, watering and general clean-up.
- Plant species that produce falling fruit or berries shall not be located adjacent to paved areas.
- There shall be a blend of evergreen and deciduous trees, shrubs and ground covers used to provide year-round visual interest.
- The use of site landscaping, walls, fences, sidewalks and pathways shall play an integral role in the overall site design. Colors and materials shall be complementary to finishes of the adjoining buildings.
- Irrigation systems shall be designed to provide fully water efficient, automatic, complete and adequate coverage (taking into consideration of wind patterns and other disruptive factors) while using water conservation methods. All planting areas shall have automatic irrigation systems with backflow prevention per City of Sparks code.
- Clustering or grouping of plant materials creates interest and variety and shall be used in the landscape design.
- Decorative paving shall be used in patios, entries, and / or other public areas. The materials shall complement building architecture. Decorative paving shall include stamped concrete, stone or brick which is compatible with the building.
- All landscaping shall comply with City of Sparks Code Chapter 20.32.
- For any landscaping in the right-of-way, the developer shall petition to the City to establish a landscaping district to provide for the maintenance of the landscape area. The method of maintenance for the landscaping shall be established prior to issuance of any building permit approved by the Parks and Recreation Director, the City Engineer and the Administrator. The 15 foot landscape corridor along Lincoln Way and Marina Gateway Drive will be maintained by the adjoining property owner.
- The following table summarizes the spacing of trees by species which is to be used for the spacing of trees in buffering areas, landscape corridor and landscape planters.

TREE SPECIES	TREE COMMON NAME	SPACING DISTANCE IN FEET (planted on center)
Evergreen Trees		
Chamaecyparis thyoides	White Cedar	3-4
Cupressocyparis leylandii	Leyland Cypress	3-4
Chinensis torulosa	Hollywood Juniper	3
Picea sp.	Spruce	30
Pinus flexilis	Limber Pine	25
Pinus jeffreyi	Jeffrey Pine	20
Pinus nigra	Austrian Pine	30
Pinus ponderosa	Ponderosa Pine	25
Pinus strobus	White Pine	30
Pinus sylvestris	Scots Pine	25
Deciduous Trees		
Catalpa bignonioides	Umbrella Catalpa	25
Celtis reticulata	Netleaf Hackberry	25
Crataegus spp.	Hawthorn	20
Fraxinus oxycarpa	Raywood Ash	25
Gleditsia triacanthos inermis'	Thornless Honeylocust	30
Koeleruteria paniculata	Goldenrain Tree	25
Malus spp.	Crabapple	25
Platanus acerifolia	London Planetree	30
Prunus spp.	Flowering Plum	25
Pyrus spp.	Flowering Pear	30
Quercus rubra	Red Oak	40
Sorbus aucuparia	Mountain Ash	25

MARINA RV PARK

- Each recreational vehicle space will have a specimen sized 2 to 3 inch caliper deciduous tree for shade purposes and turf area. The minimum turf area per RV space shall be 200 square feet. Turf may be of grass or artificial turf.
- The decorative 6 to 8 foot masonry wall along Lincoln Way from the west line of the RV Park site to Marina Gateway Drive shall be landscaped with 40% 2 inch caliper deciduous trees and 60% 8 foot evergreen trees planted per table.
- There shall be a minimum perimeter landscaping along the wall surrounding the RV Park with 40% 2 inch caliper deciduous trees and 60% 8 foot evergreen trees planted with spacing as indicated in the table on Page 47.
- The areas surrounding the recreational area (exclusive of the immediate area surrounding the pool), restroom facilities and other buildings shall be landscaped with turf and 1 tree per 300 square feet. The size shall be 2 inch caliper deciduous tree or 8 foot evergreen tree. Turf may be of grass or artificial turf.
- The end of each row of RV spaces shall be landscaped with not less than 3 trees per each end cap, turf and shrubs. Turf may be of grass or artificial turf. Trees shall be 2 inch caliper deciduous tree or 8 foot evergreen tree.
- An accentuated landscaping buffer (minimum width of 10 feet from pilasters) will be installed adjacent to the mobile home park west of the west boundary of the RV Park. Existing landscaping on the mobile home park property and outside the mobile home park scalloped masonry wall will remain in place, and access for maintenance of the existing trees and landscaping will be provided via the existing sidewalk. The sidewalk is located within the 10 foot buffer strip. The planting shall be a combination of plant materials (i.e. trees and shrubs) that create a visual screen between the existing mobile home spaces and the adjoining RV spaces. The trees/shrubs shall be predominantly evergreen or conifers, such as cyprus, juniper or cedar species, at planting to be 6 feet in height growing to 8 to 12 feet at maturity, and planted 3 to 4 feet on center so as to create a 'green wall.' The plant species selected shall branch from the base to the top of the plant. The plants, as approved by the Administrator, shall be planted to provide 100% coverage within 3 years. Buffer strip landscaping is illustrated on Figure 4 and on Figure 16 for the area adjacent to Parlanti Lane.
- See Figure 4 for Conceptual Landscape Plan and Figures 8, 9 and 10 for RV Spaces Conceptual Landscape Plan. Detail for landscaping at Parlanti Lane is indicated on Figure 16. Total area of the RV Park is 13.39 acres. Landscaping totals 3.93 acres, equaling 29.4%, including alternative artificial turf as landscaping.

BUCCANEER LANDING

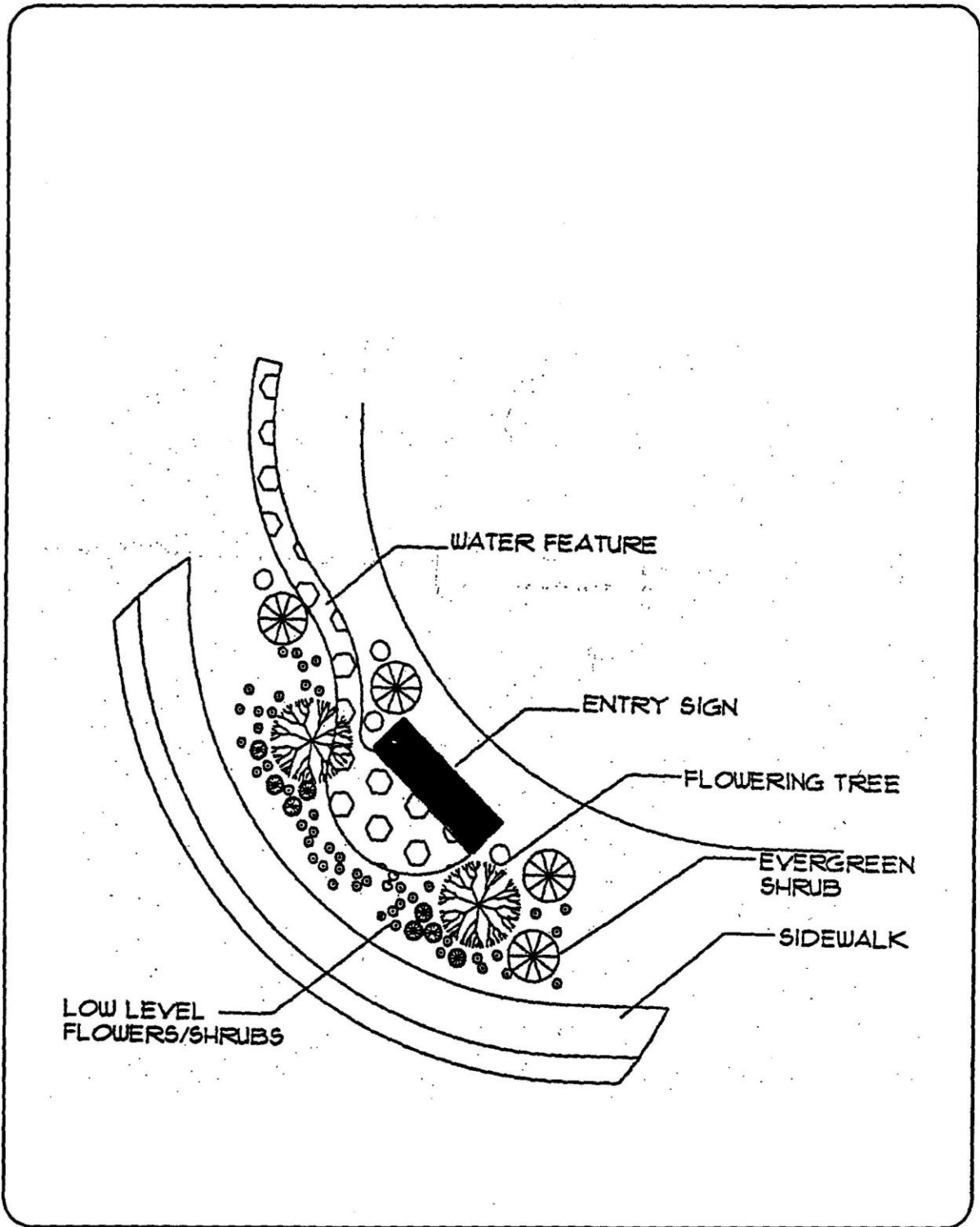
- Landscaping strips a minimum of 15 feet in width must be provided between parking lots and streets.
- Buffering landscape shall be landscaped with 40% 2 inch caliper deciduous trees and 60% 8 foot evergreen trees spaced as indicated in the table on Page 47.
- Buildings shall abut the landscape corridor along not less than 20% and not more than 40% of the frontage along Prater Way. To meet the building placement requirement, future buildings must be placed adjacent at a minimum of 20% of the site's frontage along Prater Way. As an option, in lieu of the requirement for buildings to abut at least 20% of the frontage, a 30 foot wide landscape buffer may be provided adjacent to Prater Way along a minimum of 55% of the site's frontage. If the option for the 30 foot wide landscape buffer is provided, parking and access may be located adjacent to the buffer between any buildings.

REQUIRED LANDSCAPING

- 15% of the site in addition to the landscaping strip listed above:
- 1 tree per 500 square feet of required landscaping
- 1 tree per every 7 parking spaces
- Amount of lawn area will comply with the City of Sparks Landscaping Ordinance Title 20.
- A special "monument treatment" with landscaping, a water feature, plants, etc. will be placed at the entrance of each project as shown on the Signage Concept exhibit in the Sign Section of this Handbook.
- An accentuated landscaping buffer will be installed along Parlanti Lane. This will be at a minimum street trees planted per the table selected from the Marina Plant List recommending Red Oak.
- Landscaping planter widths shall be per Buccaneer Landing Landscape Concept. See Figure 5 for Buccaneer Landing Conceptual Landscape Plan. Total area of the site is 3.86 acres of which .70 acres or 18.13% are landscaped.

ENTRANCE MONUMENT SIGN

- There shall be an entry monument sign located at E. Prater Way and Marina Gateway Drive.
- There may be water features designed as an integral part of the sign monument.
- Deciduous trees shall be sized with 50% 2 inch caliper and 50% 3 inch caliper at time of planting. Evergreen trees shall consist of 60% 8 feet in height and 40% 6 feet in height. A minimum of 6 trees will be required.
- A minimum of 50% of the shrubs shall be 5 gallons or larger at planting.
- There shall be 100% coverage within 3 years of the planting.
- Refer to Typical Entry Sign Conceptual Landscaping, Figure 22 on Page 51.
- No bark mulch.




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MARINA LANDING RV PARK

SIGN LANDSCAPE CONCEPT

FIGURE: 22
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VIII. SIGNS

GENERAL STANDARDS

- See Figure 23 for Marina Landing Signage Concept Plan
- Marina Landing signs shall be developed in an overall theme that connects the various sign types.
- The public entrance to Marina Landing will have a rock monumental water feature (optional) and plants. Refer to Entry Monument Design.
- Signs shall identify and locate, rather than advertise and sell.
- Wall sign lighting shall be internally or indirectly illuminated with no exposed electrical wiring or company decal.
- The signs identifying the individual developments will be located at the entrance of the recreational vehicle resort and at the northwest corner of Lincoln Way and Marina Gateway Drive. These signs will have design concepts identified in the entry signs exhibit indicated as Marina Landing. Refer to Entry Sign Concept.
- All monument and freestanding signs shall be located off of the right-of-way. All monument or freestanding signs shall be located in conformance with safe siting standards as set forth in the current edition of *Policy on Geometric Design of Highway and Streets*.
- Signs on the buildings will be limited to internally lit channeled letters, brass letters and similar. Halo lighting shall be permissible.
- Directional signs maximum size shall be 4 square feet with a maximum height of 5 feet and placed throughout the projects as needed.
- Any sign can be made of a variety of components; a cabinet shall not be more than 25% of these components.
- All signs will be placed in such a way as to not create site obstruction for motorists.

MARINA RV PARK

- The sign will be located along Lincoln Way. The sign will have architectural character matching that of the office / clubhouse. The designated design concept is nautical, and the building and signs shall be consistent.
- Directional, identification and traffic control signs shall be per Sparks City codes and standards.
- See Figure 23 for Signage Concept Plan and Figure 24 for RV Park Sign Illustration.

BUCCANEER LANDING

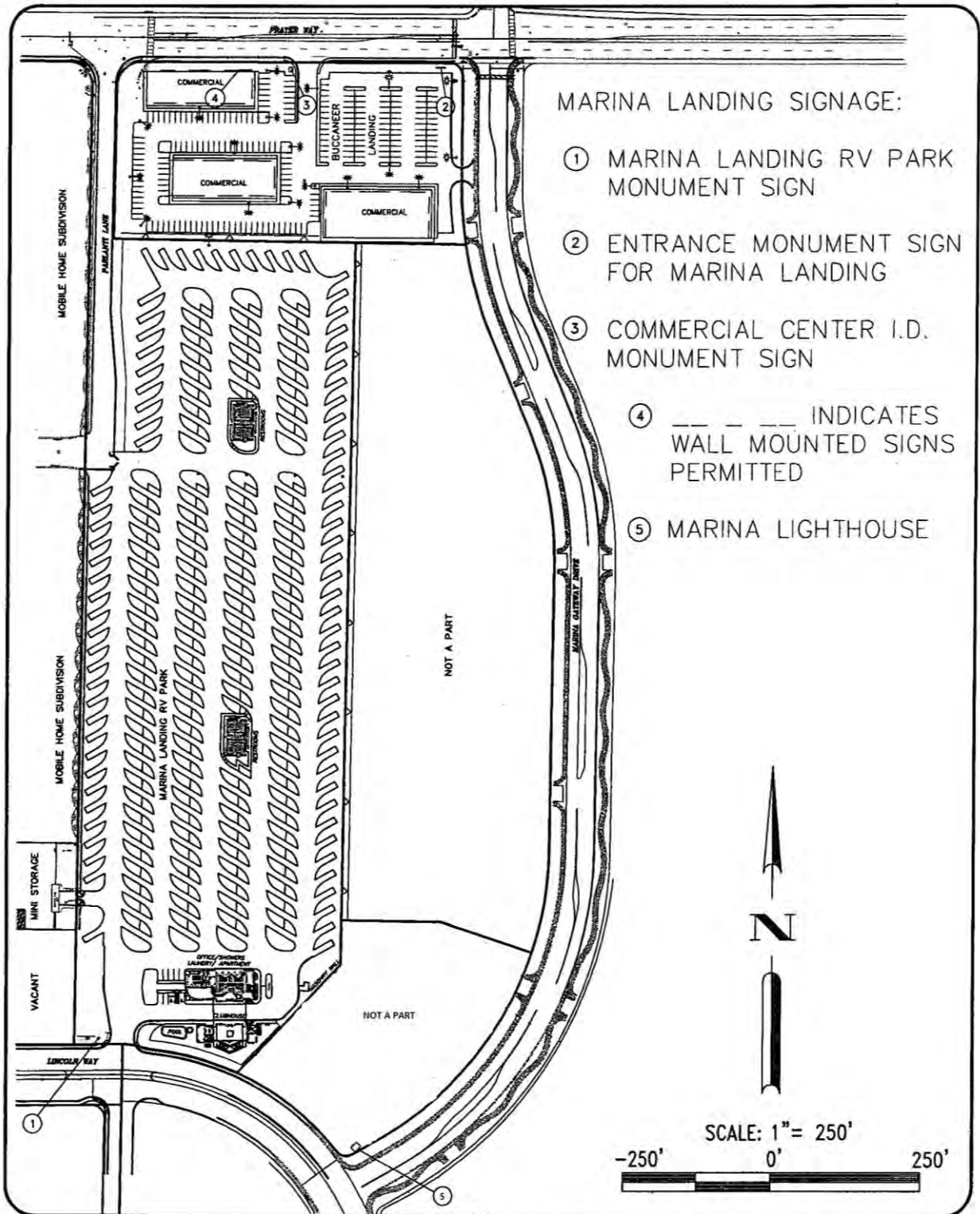
- One monument sign (a maximum of 8 feet tall and totaling 60 square feet) will be allowed between the existing driveway to the Commercial Center from East Prater and the intersection of East Prater and Marina Gateway Drive. This sign is intended to provide identification and advertising of an individual business located on the easterly portion of the Buccaneer Landing Commercial Center. There shall not be any other individual monument signs for individual buildings or tenants.
- Building sign area shall be consistent with Sparks Municipal Code and will be allowed on the public fronts facing the street or parking lot only.
- Within the Commercial Center, the total allowable sign area shall be that which is allowed in

- the City of Sparks neighborhood commercial (C1) zoning district.
See Figure 25 for Commercial Sign Illustration.

ENTRY SIGN

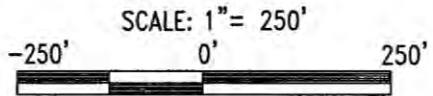
- See Figure 28.

The lighthouse feature to be located on the corner of Marina Gateway Drive and Lincoln Way will be a maximum of 8 feet tall and to the approval of the Administrator.



MARINA LANDING SIGNAGE:

- ① MARINA LANDING RV PARK MONUMENT SIGN
- ② ENTRANCE MONUMENT SIGN FOR MARINA LANDING
- ③ COMMERCIAL CENTER I.D. MONUMENT SIGN
- ④ --- --- INDICATES WALL MOUNTED SIGNS PERMITTED
- ⑤ MARINA LIGHTHOUSE




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MARINA LANDING

SIGNAGE CONCEPT

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R.V. PARK SIGNAGE



Figure: 24
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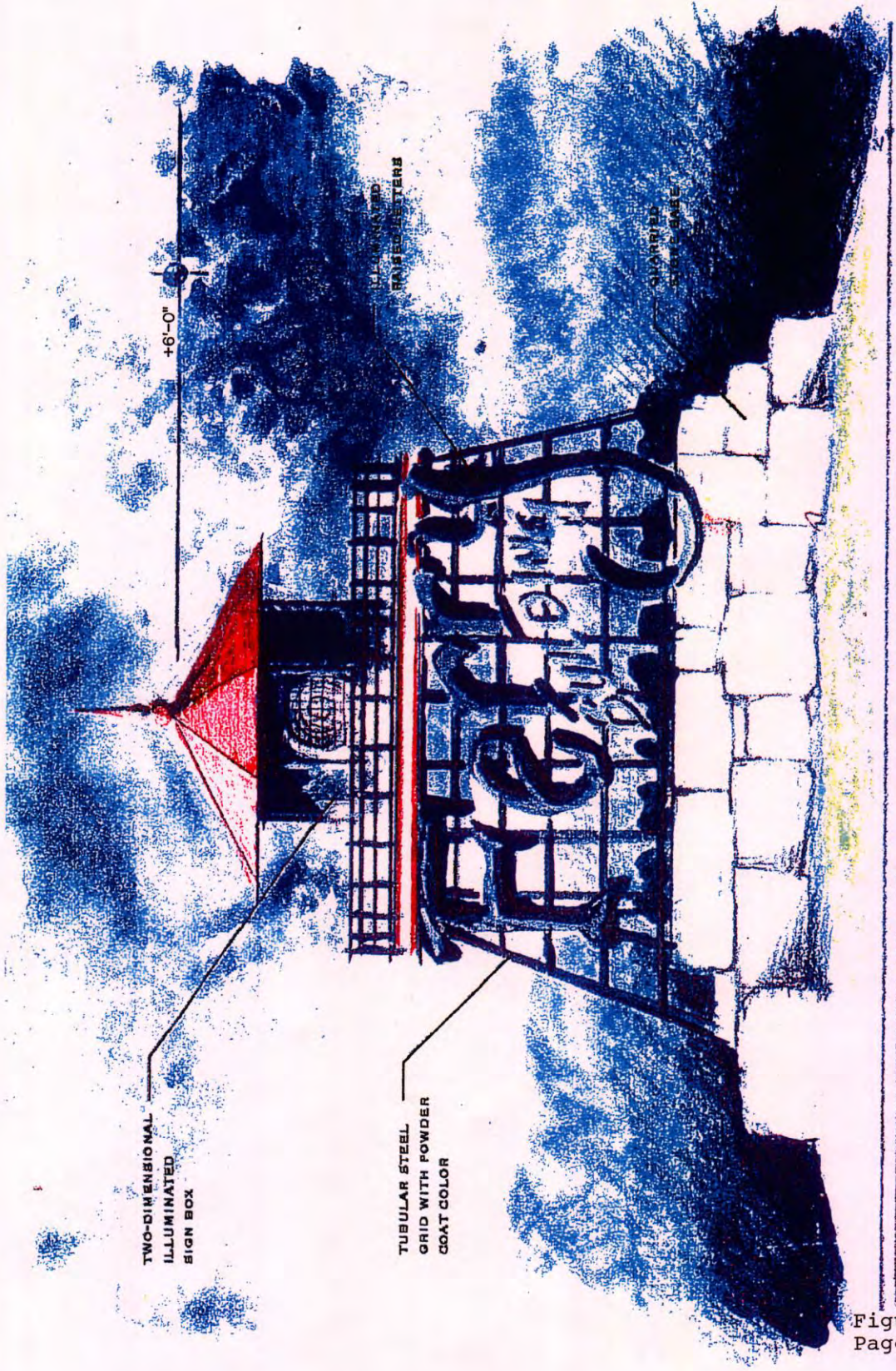


COMMERCIAL PROPERTY SIGNAGE

COMMERCIAL SIGN ILLUSTRATION

Figure: 25
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MARINA LIGHTHOUSE RENDERING



ENTRY MONUMENT SIGN

ENTRY SIGN

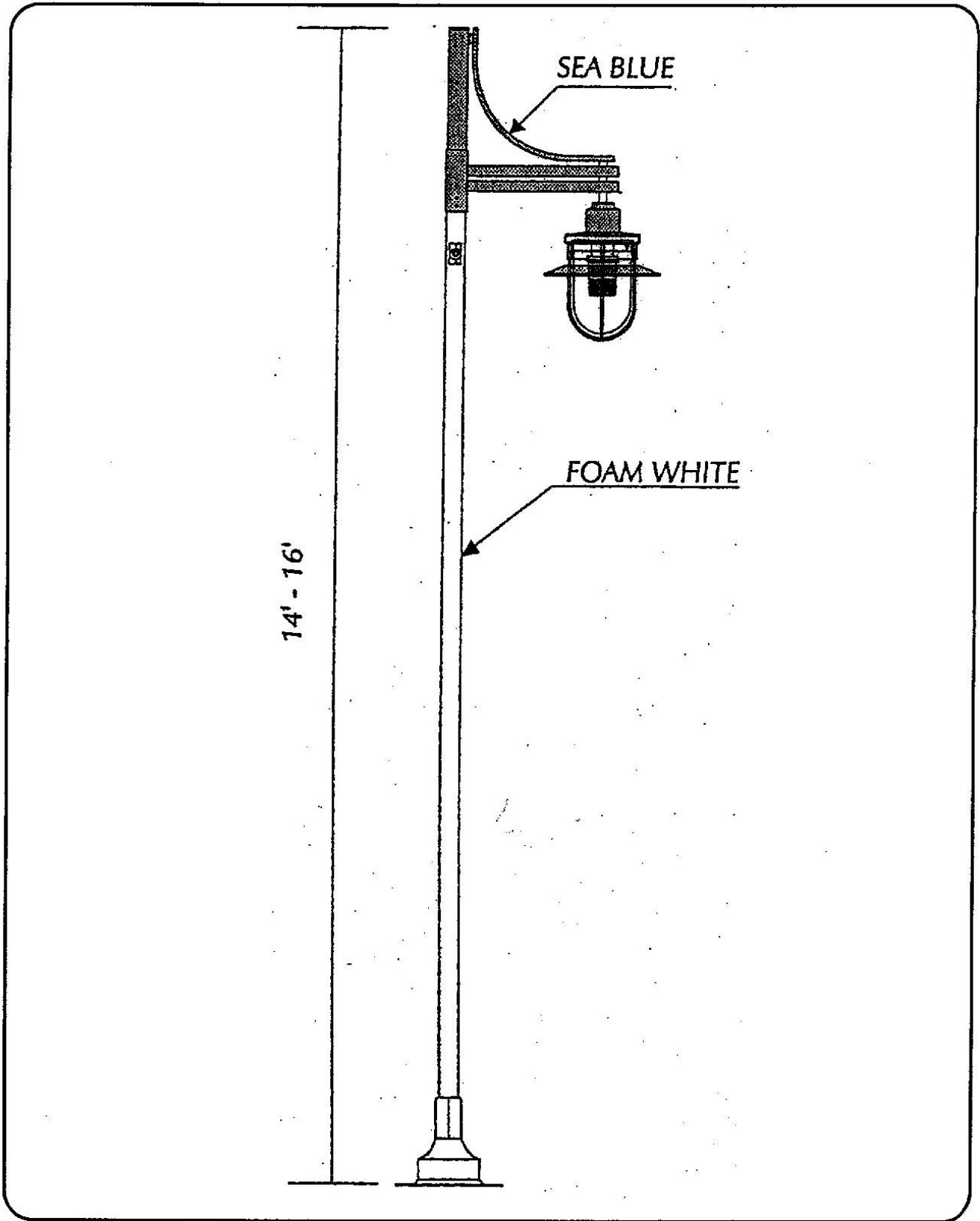
Figure: 28
Page: 59

IX. LIGHTING

GENERAL STANDARDS

The following lighting standards shall apply to all development within the Marina Landing development.

- The light standards in this development will be equivalent to the street light standards that have been utilized at the Sparks Marina Park. These standards have primary colors of blue and white. A unity of design theme from the entrances of the development at E. Prater Way / Marina Gateway Drive entrance point shall be achieved.
- Parking lot lights shall be shielded to prevent "spill-over" onto residential properties.
- The recreational vehicle park will have low level illumination (not over 8 feet in height), relative to safe internal pedestrian levels. There shall be bollard type lighting at each RV space and necessary lighting at the restroom facilities, mounted on the building.
- The Buccaneer Landing commercial center will not orient lighting to the west to reduce impacts upon the Sierra Royal Mobile Home Subdivision.
- Service area lighting shall be contained within the service area and not "spill-over" outside of the service area or loading / trash enclosure area.
- Building illumination and architectural lighting shall be indirect. Architectural lighting shall accent the building in addition to providing functional lighting.
- No parking lot light standard shall be placed within 50 feet of residential properties. No parking lot pole shall exceed 12 feet in height within 50 feet of residentially used property.
- The developer shall petition to the City to establish a Lighting District to provide for the maintenance of the street lighting approved by the Parks and Recreation Director, the City Engineer and the Administrator.
- Illustrations for exterior lighting concepts have been incorporated into conceptual site plans. See Figure 5 for Buccaneer Landing lighting concept.



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MARINA LANDING
SITE LIGHTING DETAIL

FIGURE: 29
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X. BUFFERING I WALLS

GENERAL STANDARDS

- Masonry walls combined with landscaping will be provided as indicated on Conceptual Site and Landscape Plans, Figures 4, 5 and 6. The colors of the wall will be in tones of beige / tan. There will be a concrete cap on the wall. The wall shall be protected with anti-graffiti coating and incorporate defensive plants (thorns, needles, etc.). There shall be decorative pilasters spaced at even intervals complementing the wall.
- See Figure 30 for masonry wall details.

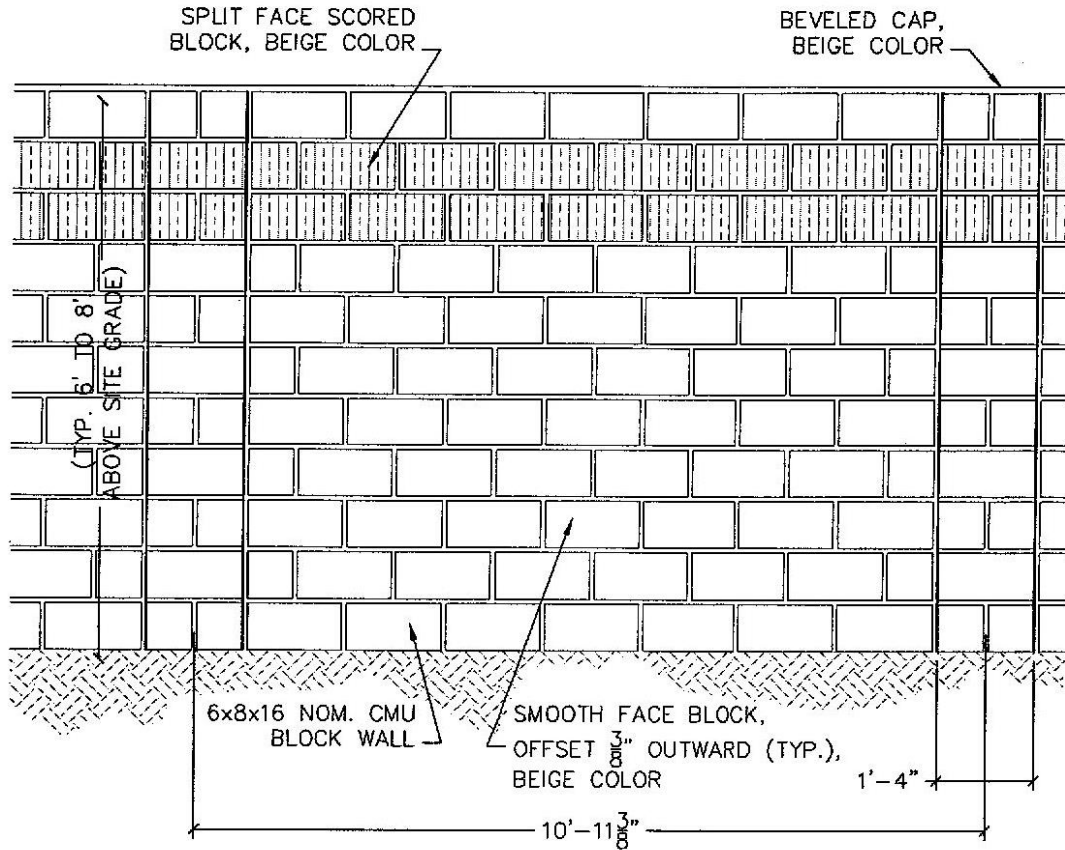
MARINA RV PARK

- A 6 to 8 foot high decorative masonry fence that with landscaping as described in the Landscape Section of this Handbook shall be provided on the entire perimeter of the RV Park. See Figure 30 for details.
- The existing scalloped wall on the east side of the adjoining mobile home park will not be modified.
- There shall be a 10 foot landscape buffer as measured from the pilasters of the existing scalloped wall surrounding the mobile home park. Within the 10 foot buffer a 6 foot black vinyl coated chain link fence, landscaped with vines and columnar shrubs spaced at 3 to 4 feet, shall be constructed as described in Chapter 2, Section VII, to create a "green wall" effect.
- See Figure 4 for masonry wall landscaping buffer conceptual plan.

BUCCANEER LANDING

- The south property boundary will have an 8 foot decorative masonry wall and landscape as described in the Landscape Section of this Handbook.
- There shall be a minimum of 10 feet of landscaping along the south property line.
- See Figure 5 for landscaping/ wall buffer concept.

NOTE: ANTI-GRAFFITI COATING SHALL BE APPLIED TO ALL EXPOSED SURFACES.



ELEVATION

SCALE: $\frac{3}{8}'' = 1'-0''$



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MARINA LANDING RV PARK

ELEVATION
DECORATIVE MASONRY WALL

FIGURE: 30
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APPENDICES

- | | |
|------------|---|
| Appendix A | Legal Descriptions and Property
Identification Exhibit Map |
| Appendix B | Plant Palette |
| Appendix C | Solaegui Engineers, Traffic Analysis
dated August 21, 2003 |

APPENDIX A

LEGAL DESCRIPTIONS

Properties Incorporated into Marina Landing Planned Development

Parcel A — APN 037-020-60

Parcel B — APN 037-020-67

All parcels are located in the SW 1/2 of Section 3, T. 19 N., R. 20 E., M.D.M. within the City of Sparks, Washoe County, Nevada and are more specifically described as follows

Parcel A:

Being all that certain real property described as PARCEL THREE of Parcel Map for Sparks Marina RV Park, LLC, Parcel Map No. 4228, recorded June 30, 2004 as File No. 3062080 in the Official Records of Washoe County, Nevada.

The above described parcel contains 3.86 acres of land, more or less.

Parcel B:

Being all that certain real property described as Parcel 2-A of Dedication Tract Map No. 4841 recorded December 14, 2007 as File No. 3603100 in the Official Records of Washoe County, Nevada.

The above described parcel contains 13.40 acres of land, more or less.

Prepared by:
Wood Rodgers, Inc.
5440 Reno Corporate Dr.
Reno, NV 89511



Daniel A. Bigrigg, P.L.S.
Nevada Certificate No. 19716

PLANT PALETTE

EVERGREEN TREES

CHAMAECYPARIS THYOIDES / WHITE CEDAR
CUPRESSOCYPARIS LEYLANDI / LEYLAND CYPRESS
PICEA ABIES / NORWAY SPRUCE
PINUS FLEXILIS / LIMBER PINE
PINUS JEFFREYI / JEFFREY PINE
PINUS NIGRA / AUSTRIAN PINE
PINUS STROBUS / WHITE PINE
PINUS SYLVESTRIS / SCOTCH PINE

DECIDUOUS SHADE TREES

CATALPA BIGNONIODES 'NANA' / UMBRELLA CATALPA
CELTIS / HACKBERRY
CRATAEGUS SPP. / HAWTHORN
GLEDITSIA T. 'INERMIS' / THORNLESS HONEYLOCUST
GLEDITSIA TRIACANTHOS / HONEYLOCUST
PLATANUS ACERIFOLIA / LONDON PLANETREE
QUERCUS RUBRA / RED OAK

FLOWERING ACCENT TREES

KOELREUTERIA PANICULATA / GOLDENRAIN TREE
MALUS / FLOWERING CRABAPPLE
PRUNUS SPP. / FLOWERING PLUM, FLOWERING CHERRY
PYRUS / FLOWERING PEAR
SORBUS AUCUPARIA / MOUNTAIN ASH

SHRUBS

ACER GINNALA / AMUR MAPLE
ARTEMISIA TRIDENTATA / BIG SAGE
ARTEMISIA BIGELOVII / BIGELOW SAGE
ARTEMISIA FRIGIDA / FRINGED SAGE
BERBERIS / BARBERRY
BUDDLEIA DAVIDII / BUTTERFLY BUSH, ORANGE-EYE
CHAENOMELES SPECIOSA / FLOWERING QUINCE
CORNUS STOLONIFERA / RED TWIG DOGWOOD
COTONEASTER DAMMERI / BEARBERRY COTONEASTER
COTONEASTER HORIZONTALIS / ROCK COTONEASTER
COTONEASTER MULTIFLORUS / FLOWERING COTONEASTER
EUONYMUS ALATUS 'COMPACTUS' / DWARF BURNING BUSH
HIBISCUS SYRIACUS / ROSE OF SHARON
JUNIPERUS COMMUNIS / MOUNTAIN COMMON JUNIPER
JUNIPERUS CHINENSIS 'ARMSTRONG' / ARMSTRONG GLOBE JUNIPER
JUNIPERUS CHINENSIS 'PFITZERIANA' / PFITZER JUNIPER
JUNIPERUS CHINENSIS TORULOSA / HOLLYWOOD JUNIPER
JUNIPERUS HORIZONTALIS / CREEPING JUNIPER
LONICERA JAPONICA 'HALLIANA' / HALL'S HONEYSUCKLE
MAHONIA AQUIFOLIUM / OREGON GRAPE
PHILADELPHUS LEWISII / MOCK ORANGE

PLANT PALETTE

SHRUBS

PHOTINIA SERRULATA / CHINESE PHOTINIA
PINUS MUGO I MUGO PINE
POTENTILLA F. 'TANGERINE' / ORANGE-FLOWERING POTENTILLA
PYRACANTHA COCCINEA / FIRETHORN
RIBES ALPINUM / ALPINE CURRANT
SPIRAEA B. 'LIMEMOUND' I LIMEMOUND SPIRAEA
SPIRAEA VANHOUTTEI / VANHOUTTE SPIRAEA
SYRINGA VULGARIS / COMMON LILAC
THUJA OCCIDENTALIS / AMERICAN ARBORVITAE
YUCCA FILAMENTOSA / ADAMSNEEDLE YUCCA

GROUND COVERS & PERENNIALS

AJUGA REPTANS / COMMON BUGLE
ARCTOSTAPHYLOS / BEARBERRY
ARTEMISIA SCHMIDTIANA / SILVER MOUND
ATRIPLEX GARDNERI / GARDNER'S SALTBUSH
CLEMATIS JACKMANII / JACKMAN CLEMATIS
CLEMATIS ORIENTAL'S I ORIENTAL CLEMATIS
COTONEASTER 'LOWFAST I PROSTRATE
COTONEASTER EUONYMUS FORTUNE! I
WINTERCREEPER EUPHORBIA MYRSINITES / MYRTLE
SPURGE HYPERICUM CALYGINUM I ST. JOHNSWORT
JUNIPERUS HORIZONTAL'S / CREEPING JUNIPER
LAVANDULA SP. / LAVENDER
LON10ERA JAPONICA I JAPANESE HONEYSUCKLE
MAHONIA REPENS / CREEPING BARBERRY
PARHENOCISSUS OUINQUEFOL1A / VIRGINIA CREEPER
POLYGONUM AUBERTII / CHINESE FLEECEVINE
POTENT' LLA VERNA / CINQUEFOIL
SANTOLINA CHAMAECYPARISSUS / LAVENDER
COTTON THYMUS SERPYLLUM / MOTHER-OF-
THYME THYMUS VULGARIS / COMMON THYME
VINCA MINOR / DWARF / COMMON PERIWINKLE

MEADOW GRASSES

FESTUCA SP. / FESCUE
PENNISETUM SP. / FOUNTAIN GRASS
PHALARIS ARUNDINACEA / REED CANARYGRASS
STIPA GIGANTEA / GIANT FEATHER GRASS

TURF GRASSES

BUCHLOE DACTYLOIDES / BUFFALO GRASS
FESTUCA / FESCUE
LOLIUM PERENNE I PERENNIAL RYEGRASS
PENNISETUM I FOUNTAIN GRASS
POA PRATENSIS / KENTUCKY BLUEGRASS

SOLAEGUI
ENGINEERS

August 21, 2003

Mr. John Martini
City of Sparks
1675 E. Prater Way
Sparks, NV 89434

Re: Marina Landing

Dear John:

At the request of the project developers we have prepared the following trip generation calculations. They plan to construct a 311 space recreation vehicle park, retail shops and an office building on the proposed site. The RV park has been enlarged since the previous application on this project submitted in May, 2002. The original submittal included 268 RV spaces, 41,000 square feet of retail area, 27,000 square feet of general office, and a not a part parcel. The number of RV spaces has now been increased by 43 to 311 spaces. The previous not a part land will now be fully developed.

Trip generation calculations were based upon information taken from the Sixth Edition of *ITE Trip Generation (1997)* for Land Use 416: Campground/Recreational Vehicle Park. The worksheets are attached. A summary of the anticipated average daily and peak hour traffic volumes for the original 268 spaces and now the 311 total is shown below:

TRIP GENERATION

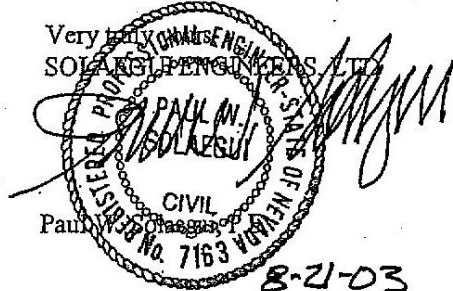
<u>LAND USE</u>	<u>ADT</u>	<u>AM PEAK HOUR</u>	<u>PM PEAK HOUR</u>
RV Park 268 Spaces	1,040*	72	104
RV Park 311 Spaces	<u>1,210*</u>	<u>84</u>	<u>121</u>
Difference	+170	+12	+17

* The ADT values are calculated based on a -10% PM peak hour factor.

Solaegui Engineers Ltd. • 715 H Street • Sparks, Nevada 89431 • 775/358-1004 • FAX 775/358-1098

Civil & Traffic Engineers
e-mail: psolaegui@aol.com

Based on the low trip generation increase, only 170 ADT and 17 PM peak hour trips, we do not anticipate that a formal traffic study will be required. The project generates an increase in traffic, however the total is well below the traffic volume threshold requirement. I trust that this information will meet your requirements. Please call if you have any questions or comments.



8-21-03
EXP 6-30-04

Enclosure

Cc: Milt Sharp

Letters/Marina-landing

Land Use: 416

Campground/Recreational Vehicle Park

Description

Campgrounds and recreational vehicle parks are recreational sites that accommodate campers, trailers, tents, and recreational vehicles on a transient basis. They are found in a variety of locations and provide a variety of facilities, often including rest rooms with showers, recreational facilities such as a swimming pool, a convenience store, and a laundromat.

Additional Data

The sites were surveyed in the late 1970s, the late 1980s, and the 1990s in San Diego, California and Spokane, Washington.

Source Numbers

214, 264, 401

Campground/Recreational Vehicle Park (416)

Average Vehicle Trip Ends vs: Occupied Camp Sites
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.

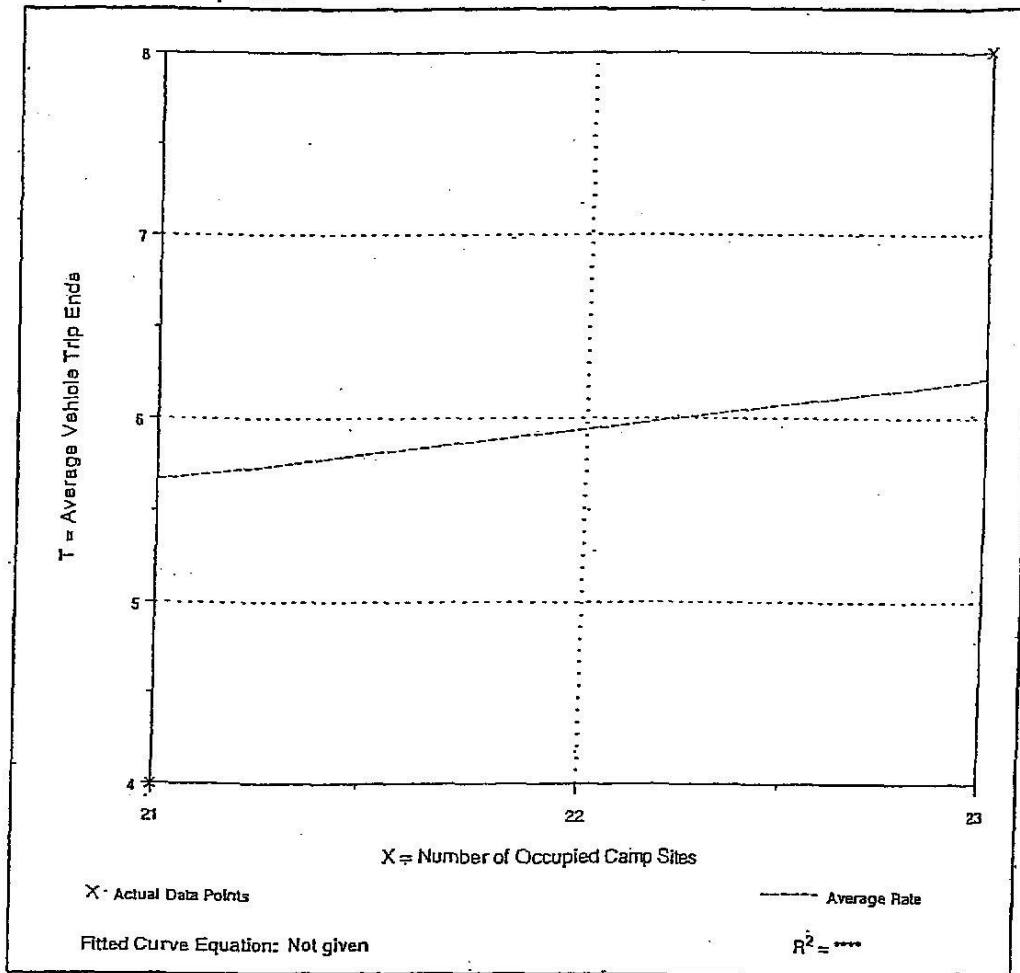
Number of Studies: 2
 Average Number of Occupied Camp Sites: 22
 Directional Distribution: Not available

Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.27	0.19 - 0.35	.

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Campground/Recreational Vehicle Park (416)

Average Vehicle Trip Ends vs: Occupied Camp Sites
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.

Number of Studies: 2
 Average Number of Occupied Camp Sites: 22
 Directional Distribution: Not available

Trip Generation per Occupied Camp Site

Average Rate	Range of Rates	Standard Deviation
0.39	0.33 - 0.43	*

Data Plot and Equation

Caution - Use Carefully - Small Sample Size

