



**CITY OF SPARKS, NV
COMMUNITY
SERVICES
DEPARTMENT**

To: Mayor and City Council

From: Marilie Smith, Administrative Secretary

Subject: Report of Planning Commission Action
PCN15058

Date: May 6, 2016

RE: PCN15058 – Consideration of and possible action on a request to tentatively approve the Golden Triangle Handbook, a Planned Development, on a site 43.83 acres in size in the NUD (New Urban District) zoning district located at 6000 Vista Boulevard, Sparks, NV.

Senior Planner Ian Crittenden presented this agenda item with a recommendation to forward to City Council for tentative approval of the Golden Triangle Planned Development Handbook. This application is to create a new Planned Development. This property was part of an annexation, master plan amendment, and a rezoning that created the Kiley Ranch Northeast Golf Community Planned Development. The land use designation for this site was Open Space (OS) and zoned A-40 (Agriculture). In 2014, the land use designation was changed from OS to Mixed Use (MX) and the zoning was changed from A-40 to NUD (New Urban District). And finally, in 2015, the handbook for Kiley Ranch Northeast Golf Community was rescinded.

The site is located in the North Sparks Sphere of Influence (NSSOI) and as such developers are required to prepare development standards handbooks for all residential, commercial and restricted industrial/business park projects which outline architectural guidelines and performance standards in accordance with the policies of the plan. The proposed planned development will consist of a series of projects that will be developed over time. The projects will be individually reviewed as they are submitted through the Administrative Review Process and the Conditional Use Permit process.

A traffic study was performed for the site. It is the opinion of staff and the study that a signal light be required with the first development of the site. In addition, any subsequent development will be required to update the traffic study to measure and address any new impacts on Vista and nearby roads.

In addition, Mr. Crittenden shared that staff reviewed the access points in conjunction with the traffic study. Staff is comfortable with the four access points proposed. Precise locations and details for each of the access points will be submitted with

project plans as they develop. The main access point is approximately at midpoint of the development's frontage along Vista. A signal light will be required at this point.

Mr. Crittenden presented the following Planned Development Findings:

PDa In what respects the plan is or is not consistent with the statement of objectives of a planned unit development.

The statement of purpose for this planned development cites a desire to ensure a high quality development with a high level of flexibility in development product in order to response to market demand. This purpose is in alignment with the purpose of a Planned Development as stated in 20.02.012 SMC:

Purpose: this chapter provides for a maximum environmental choice for the citizens of the City of Sparks by encouraging flexibility and creativity of design and a greater diversity of building types, open space arrangements and other aspects of land planning while, at the same time, preserving public welfare, health, and the general intent of the Master Plan. An additional purpose of this chapter is to provide a degree of certainty for the duration of build out of a large tract of land, such certainty not otherwise available in other chapters of this Title.

This project does not fulfill the final stated purpose in the same section:

An additional purpose of this chapter is to provide a degree of certainty for the duration of build out of a large tract of land...

While the amount and location of various potential uses are not specified, the handbook includes maximums for multi-family, single family, and commercial uses. This is less likely to require future amendments to this handbook.

PDb The extent to which the plan departs from zoning and subdivision regulations, otherwise applicable to the property, including but not limited to density, bulk and use, and the reason why these departures are or are not deemed to be in the public interest.

The uses permitted by this handbook and the development process for those uses does not depart from zoning or subdivision regulations that would otherwise be applicable to a property with "straight" mixed use zoning. Any future development will be reviewed by either a Conditional Use Permit or an Administrative Review to address potential impacts.

PDc The ratio of residential to nonresidential use in the planned unit development.

The ratio of residential to nonresidential uses in this planned development is not predetermined. The land use regulations in the handbook permit the site to develop solely as any of the permitted uses or as any combination of single family residential, multi-family residential, and commercial uses subject to residential unit and commercial square footage limitations.

PDd The purpose, location and amount of the common open space in the planned unit development, the reliability of the proposals for maintenance and conservation of

the common open space, and the adequacy of the amount and purpose of the common open space as related to the proposed density and type of residential development.

Open space and the City's Hillside ordinance are addressed in this plan. The planned development as a whole will provide 20% open space which amounts to 8.76 acres. This will be accomplished through common areas within each project as well as a large area (8.62 acres) along the east side of the site that shall remain undisturbed.

PDe The physical design of the plan and the manner in which the design does or does not make adequate provision for public services and utilities, provide adequate control over vehicular traffic, and further amenities of light, air, recreation and visual enjoyment.

The provision for public services and utilities and for the amenities of light, air, recreation and visual enjoyment are addressed throughout the handbook. All needed utilities are available in Vista Boulevard and capacity has been previously allocated for the site under its previous inclusion in the Kiley Ranch Northeast Golf Communities Handbook. Traffic impacts have been considered in the traffic analysis and will be updated with each individual project within the Golden Triangle Planned Development.

PDF The relationship, beneficial or adverse, of the proposed planned unit development to the neighborhood in which it is being proposed to be established.

This planned development will primarily have an impact on traffic on Vista Boulevard. Some of the property owners in Wingfield Springs will look down on this development from their home locations but they will not abut this development. The traffic impact have been addressed in finding PDe. A traffic signal will be installed at Vista Boulevard with the first development project.

PDg In the case of a plan which proposes development over a period of years, the sufficiency of the terms of conditions intended to protect the interests of the public, residents and owners of the planned unit development in the integrity of the plan.

Timing is not addressed in this handbook. Each individual project will be required to be completed as they are built but provide access (both vehicular and to utilities) for the next project. Development of each project will be reviewed through the Administrative Review process to ensure cohesiveness throughout the entirety of the planned development, as it builds out.

Commissioner Cammarota asked for clarification regarding the signal light and the relationship to 'first development'. Mr. Crittenden clarified that the first project within the development area will require a signal light prior to a certificate of occupancy.

Ms. Melissa Lindell, of Wood Rodgers representing the applicant, introduced herself and shared that she had been working with both Mr. Crittenden and Ms. Melby to develop the handbook and shared that she is very pleased with the result. Ms. Lindell reviewed the site map and identified neighboring properties and their uses.

The public hearing was opened, there was no public comment received and the public hearing was closed.

MOTION: Planning Commissioner Lean moved to forward a recommendation to the City Council for tentative approval of the Golden Triangle Planned Development Handbook associated with PCN15058, adopting Findings PDa through PDg and the facts supporting those Findings as set forth in the staff report.

SECOND: Planning Commissioner Petersen.

AYES: Planning Commissioners Cammarota, Lean, Petersen, VanderWell and Voelz.

NAYS: None.

ABSTAINERS: None.

ABSENT: Commissioners Fewins and Sperber.

Passed.



REGIONAL TRANSPORTATION COMMISSION

Metropolitan Planning • Public Transportation & Operations • Engineering & Construction

Metropolitan Planning Organization of Washoe County, Nevada

April 5, 2016

FR: Chrono/PL 182-16

Mr. Ian Crittenden, Planner
Planning and Community Services Department
City of Sparks
431 Prater Way
Sparks, NV 89431

RE: PCN15058 (Golden Triangle Handbook)

Dear Mr. Crittenden,

The RTC has reviewed this request to tentatively approve the Golden Triangle Handbook, a Planned Development, on a site of approximately 44 acres in size. This site is located at 6000 Vista Boulevard.

The 2035 Regional Transportation Plan (RTP) identifies Vista Boulevard between I-80 and Wingfield Parkway as an arterial with moderate-access control. To maintain arterial capacity, the following RTP access management standards should be maintained.

Access Management Standards-Arterials ¹ and Collectors							
Access Management Class	Posted Speeds	Signals Per Mile and Spacing ²	Median Type	Left From Major Street? (Spacing from signal)	Left From Minor Street or Driveway?	Right Decel Lanes at Driveways?	Driveway Spacing ³
Moderate Access Control	40-45 mph	3 or less Minimum spacing 1590 feet	Raised or painted w/turn pockets	Yes 500 ft. minimum	No, on 6 or 8-lane roadways w/o signal	Yes ⁴	200 ft./300 ft.

¹ On-street parking shall not be allowed on any new arterials. Elimination of existing on-street parking shall be considered a priority for major and minor arterials operating at or below the policy level of service.

² Minimum signal spacing is for planning purposes only; additional analysis must be made of proposed new signals in the context of planned signalized intersections, and other relevant factors impacting corridor level of service.

³ Minimum spacing from signalized intersections/spacing other driveways.

⁴ If there are more than 60 inbound, right-turn movements during the peak-hour.

The project application included Exhibit 2-1 Site Access, showing four driveways on Vista Boulevard. Two right in/out driveways at the northern and southern limits, a main driveway with full movement access midway through the project with a potential future traffic signal and a secondary gated access located approximately 465 feet north of the main driveway. Driveway spacing appears to meet access standards for a moderate access control arterial. Upon submittal of the final design plans, the applicant should provide a driveway review to determine the need for dedicated right turn deceleration and acceleration lanes.

The RTP, the RTC Bicycle/Pedestrian Master Plan and the Nevada Department of Transportation Pedestrian Safety Action Plan, all indicate that new development and re-development will be encouraged to construct pedestrian and bicycle facilities, internal and/or adjacent to the development, within the regional road system. Also, these plans recommend that the applicant be required to design

and construct any sidewalks along the frontage of the property in conformance with the stated ADA specifications.

Thank you for the opportunity to comment on this application. Please feel free to contact me at 332-0174 if you have any questions or comments.

Sincerely,



Rebecca Kapuler
Planner

RK/jm

Copies: Jon Ericson, City of Sparks Public Works
Debra Goodwin, Regional Transportation Commission
Julie Masterpool, Regional Transportation Commission
Tina Wu, Regional Transportation Commission
David Jickling, Regional Transportation Commission

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

April 6, 2016

Ian Crittenden, Planner
City of Sparks Planning Department
431 Prater Way
Sparks, NV 89431

RE: Golden Triangle Handbook; APN: 520-012-02, 03 &04
Request for Approval; PCN15058

Dear Mr. Crittenden:

The Washoe County Health District, Environmental Health Services Division (Division) Engineering and Vector have reviewed the above referenced project. Approval by this Division is subject to the following conditions:

1. All structures are required to be served by municipal water and sewer.
2. Any proposed public pool &/or spa as well as the associated clubhouse or building associated with the pool is required to be submitted for plan review to the WCHD Environmental Health Services.
3. In section 2.3.8(h), 2.4.8(h) and 2.5.10(g), of the handbook, the Vector Borne Diseases Program will require the design of rockery walls, to include that all voids shall be filled by placing smaller rock within the face of the rock wall for the entire height of the wall (040.081).
4. In sections 2.3.5 "Multi-family Residential landscape turf", 2.4.5(c) "Single Family Residential landscape turf", 2.5.6 "Parking area landscape turf", and 2.5.7(c) "Non-Residential landscape turf", of the handbook any proposed landscape common areas with turf will require a minimum 24 inch catchment area from the back face of impervious surfaces. The Low Impact Design (LID) will reduce the nuisance water runoff into the infrastructure while minimizing downstream runoff (Health Regulations Governing the Prevention of Vector-Borne Diseases 040.038).
5. In sections 2.3.5 "Multi-family Residential landscape turf", 2.5.6 "Parking area landscape turf" and 2.5.7(c) "Non-Residential landscape turf", of the handbook a wind sensor control unit will be required for any landscape turf common areas to assist in reducing the nuisance water runoff associated with irrigation (Health Regulations Governing the Prevention of Vector-Borne Diseases 040.038).
6. The following disclosure language shall be given to the residents of each lot and or included in the CC&R's advising the homeowners of the midges and mosquitoes associated with the nearby wetlands:

"Both midges and mosquitoes begin their life cycle in the aquatic stage of the wetlands prior to becoming adults. Both fly into residential areas becoming a nuisance to individuals and pets. Both are attracted to lights, will rest on the outside of buildings and will enter any premises through the slightest opening. Adult female mosquitoes can transmit mosquito borne diseases such as West Nile virus. Any additional information may be obtained from the Vector- Borne Diseases Program (Health Regulations Governing the Prevention of Vector-Borne Diseases 010.028). "The Washoe County Health District's Vector-Borne Diseases Program conducts insect surveillance and treatment activity including using a helicopter to apply biological larvacides to where mosquitoes begin their life cycle, in the standing bodies of water within the channels located nearby. Larvaciding prevents mosquitoes from

emerging as adults, from biting individuals and from transmitting diseases such as West Nile virus to people. This is the best method to control this insect." (Health Regulations Governing the Prevention of Vector-Borne Diseases 010.016).

If you have any questions regarding the inclusion of the above design standards in the handbook, please call Jim English at 328-2610 or Jim Shaffer 785-4599 regarding engineering or vector comments, respectively.

Sincerely,

James English
Environmental Health Specialists Supervisor
Environmental Health Services

J.L. Shaffer
Program Coordinator/Planner
Vector-Borne Diseases Program
Environmental Health Services

JE/JS:wr

Cc: File - Washoe County Health District
Wood Rodgers

Crittenden, Ian

From: GJ Pearce <gj.pearce@charter.net>
Sent: Monday, April 11, 2016 4:56 PM
To: Crittenden, Ian
Subject: Case: PCN15058

I don't think this Planned Development should be approved. Currently there is too much traffic on Vista from Wingfield Springs/Redhawk. Unless some kind of traffic light is put in I just see multiple accidents at that location with people trying to merge onto Vista from the proposed sub-division. If a light is installed I just see it causing more traffic issues with Wingfield Springs/Redhawk residents. Vast amounts of wildlife use the route where you plan on developing this sub-division. We see coyotes, antelope, and deer that use that area to cross. By destroying this area you prevent wildlife from crossing.

Sincerely,

GJ Pearce
Redhawk Resident

GOLDEN TRIANGLE

TRAFFIC ANALYSIS

EXECUTIVE SUMMARY

The proposed Golden Triangle development will be located in the City of Sparks, Nevada. The project site is located on the southeast side of Vista Boulevard, northeast of Vista Del Rancho Parkway, and southwest of Peppergrass Drive. The project site is currently undeveloped land. The purpose of this study is to address the project's impact upon the adjacent street network. Four proposed project access intersections on Vista Boulevard have been identified for AM and PM peak hour capacity analysis for the existing plus project and 2035 base plus project scenarios.

The proposed Golden Triangle development will consist of the construction of 396 multi-family dwelling units, various commercial buildings on 4 acres of land, and a mini-warehouse facility with 177 units. The project is anticipated to generate 4,909 average daily trips with 256 trips occurring during the AM peak hour and 444 trips occurring during the PM peak hour.

Traffic generated by the proposed Golden Triangle development will impact on the adjacent street network. The following recommendations are made to mitigate project traffic impacts.

It is recommended that any required signing, striping, or traffic control improvements comply with City of Sparks requirements.

It is recommended that the Vista Boulevard/Main Access intersection be designed to contain an exclusive left turn lane with a minimum of 345 feet of storage/deceleration length and 100 foot taper at the northeast approach, an exclusive right turn lane with a minimum of 320 feet of storage/deceleration length and 100 foot taper at the southwest approach, and separate left and right turn lanes at the project access approach.

It is recommended that a traffic signal with pedestrian crosswalks be constructed at the Vista Boulevard/Main Access intersection.

It is recommended that the Vista Boulevard/Secondary Access 1 intersection be designed to serve right-in/right-out movements only and contain an exclusive right turn lane with a minimum of 220 feet of deceleration length and 100 foot taper at the southwest approach.

It is recommended that the Vista Boulevard/Secondary Access 2 and Vista Boulevard/Secondary Access 3 intersections each be designed to operate with right-in/right-out movements only.

It is recommended that the project accesses, internal streets, and on-site parking areas be designed per City of Sparks standards.

Prepared for:
City of Sparks, Nevada
431 Prater Way
Sparks, NV 89432

Prepared by:



WOOD RODGERS
DEVELOPING INNOVATIVE DESIGN SOLUTIONS
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Golden Triangle Village

Tentative Planned Development Handbook

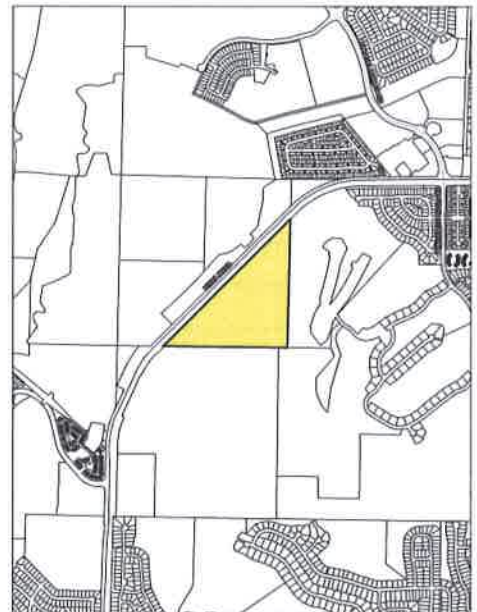
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MAR 21 2016

COMMUNITY SERVICES
ADMINISTRATION

March 2016

City of Sparks, Nevada



EXHIBITS

- Exhibit 1-1: Vicinity Map
- Exhibit 1-2: Existing Master Plan
- Exhibit 1-3: Existing Zoning
- Exhibit 1-4: Slope Map
- Exhibit 1-5: Development Areas
- Exhibit 1-6: Conceptual Map
- Exhibit 2-1: Site Access

TABLES

- Table 1-1: Land Use Development Summary
- Table 2-1: Permitted and Conditional Use Table
- Table 2-2: Residential Setbacks and Density Requirements
- Table 2-3: Non-Residential Setbacks and Density Requirements

1 INTRODUCTION AND IMPLEMENTATION

1.1 PURPOSE

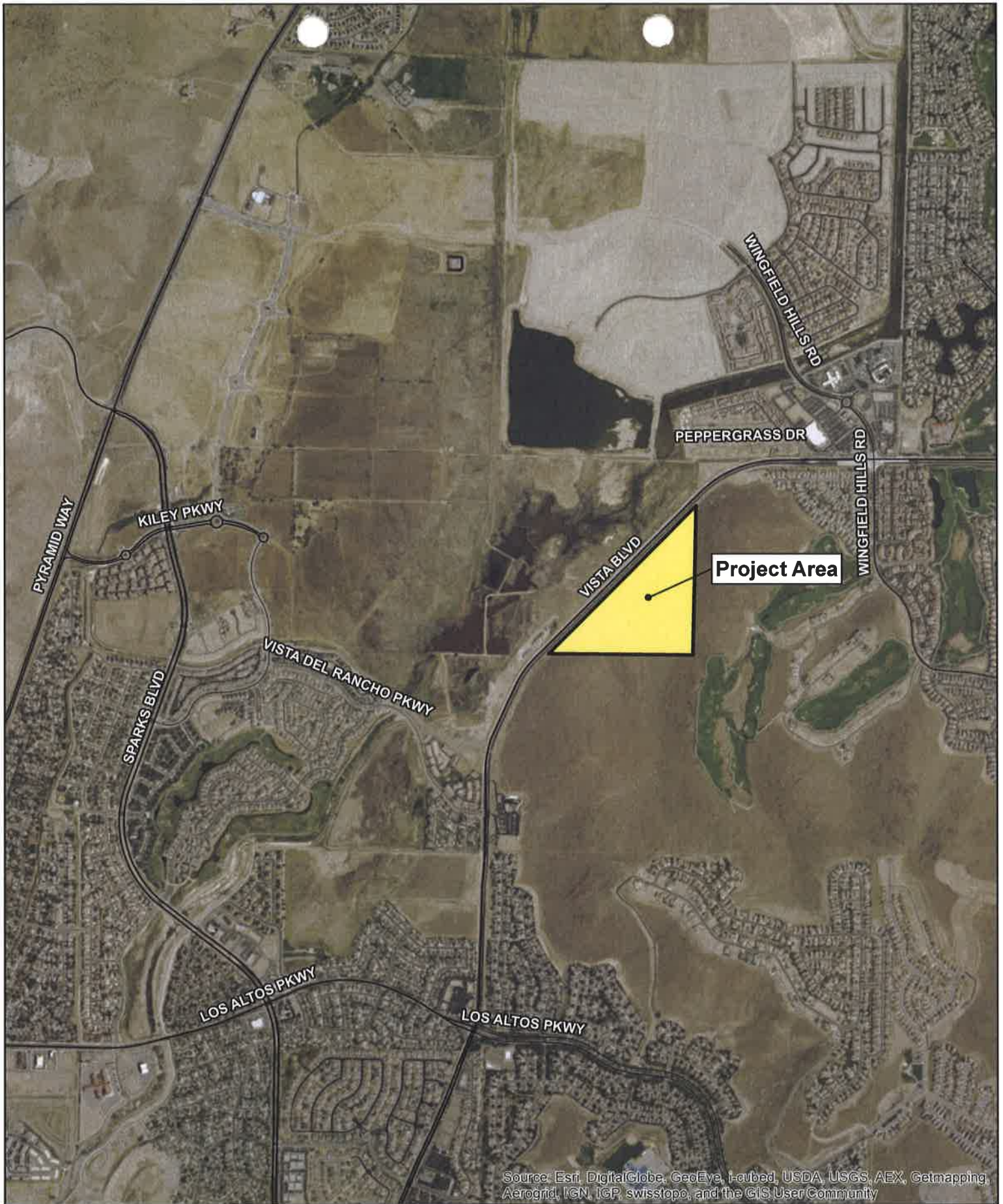
The purpose of the Golden Triangle Village Planned Development Handbook is to provide requirements and design standards to ensure a high quality mixed use development project that allows for flexibility in order to be responsive to market demands. This Development Handbook will be used by the City of Sparks as a guide for reviewing all new development projects within the Golden Triangle Village.

Since development of the property is anticipated to occur in phases, the standards and guidelines contained herein establish a common framework to guide the various projects. The development of the property is controlled and restricted by the development requirements and guidelines in this Handbook, as well as by all applicable government codes and regulations. The City of Sparks shall enforce all provisions and standards including the graphic and textual elements of this Development Handbook. This Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout the Golden Triangle Village.

1.2 PROJECT DESCRIPTION

The 43.83± acre Golden Triangle Village property is located on the south side of Vista Boulevard, east of Vista Del Rancho Parkway and west of Peppergrass Drive in the Spanish Springs Valley (Refer to Exhibit 1-1, Vicinity Map). The site is within the Northern Sparks Sphere of Influence Master Plan (NSSOI) area and is required to have an approved Planned Development Handbook. The property was previously included in the Kiley Ranch Northeast Golf Community Planned Development Handbook, however, that handbook was never recorded and has subsequently been abandoned by the Sparks City Council.

The property currently has a master plan designation of Mixed Use and is zoned New Urban District (NUD) (Refer to Exhibit 1-2 Sparks Master Plan and Exhibit 1-3 Sparks Zoning).



Source: Esri, DigitalGlobe, GeoEye, Earthstar (USA), USGS, AeroGRID, IGN, IGP, swisstopo, and the GIS User Community



Exhibit 1-1: Vicinity Map
 Golden Triangle
 November, 2015

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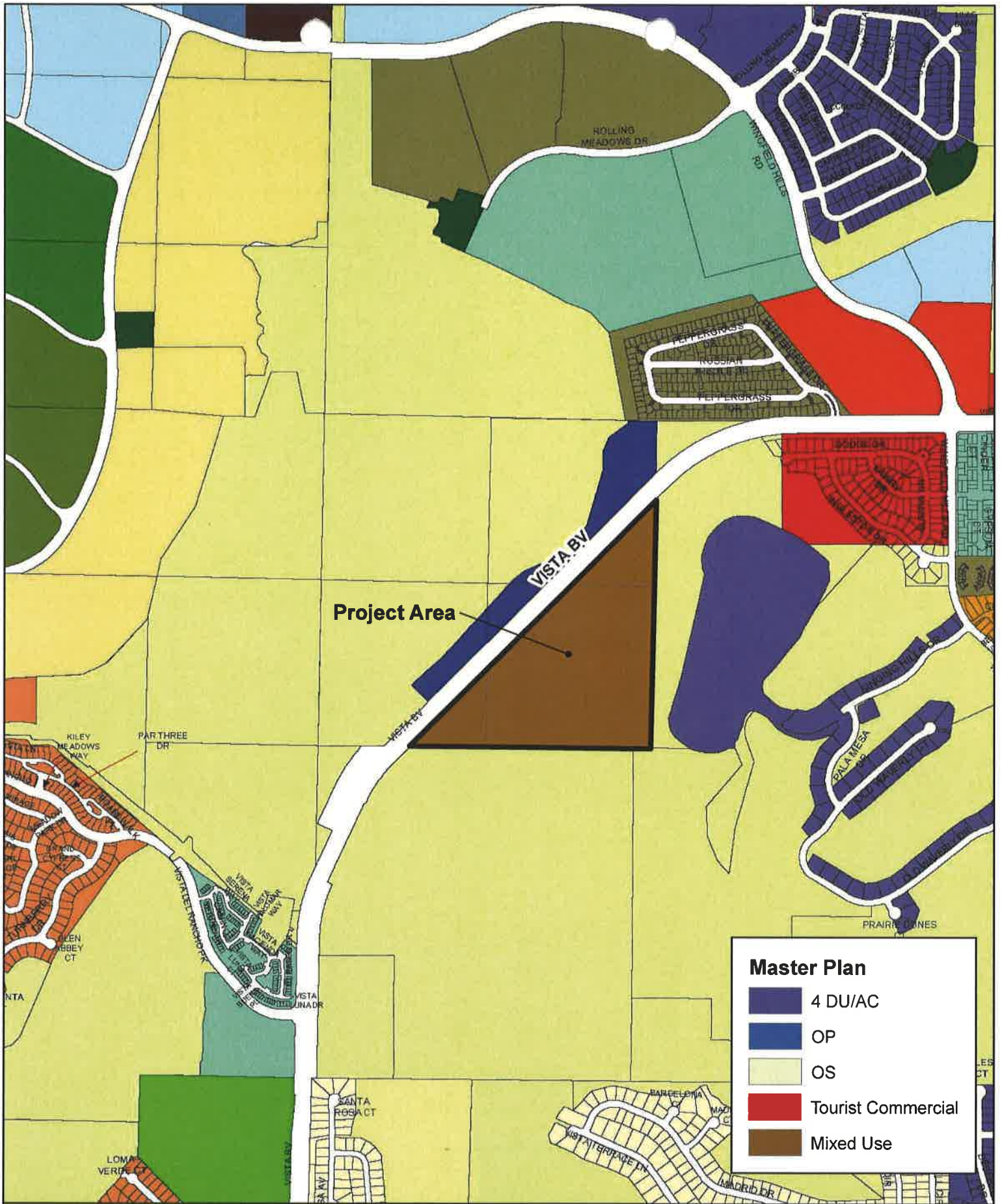
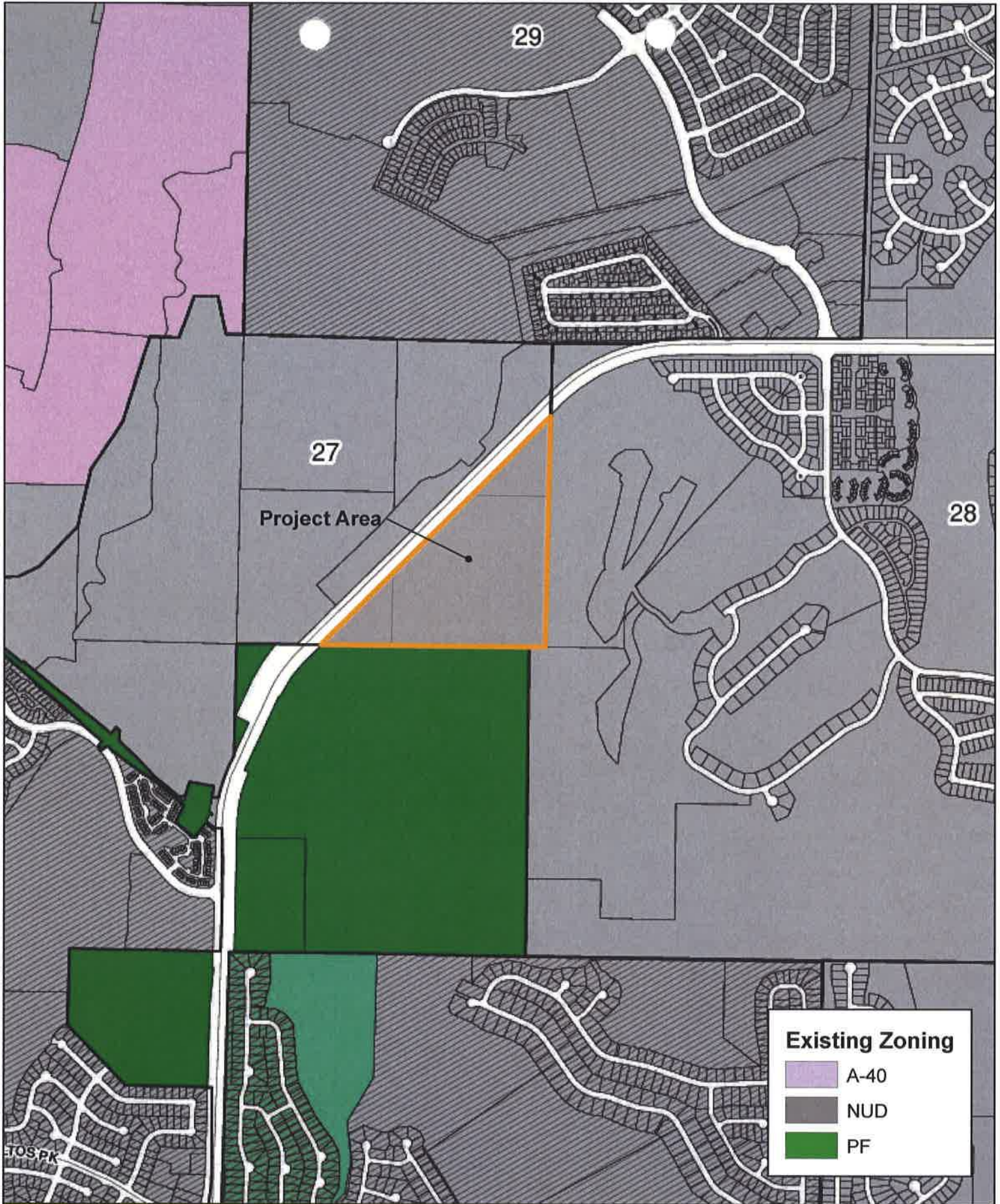


Exhibit 1-2: Existing Master Plan
Golden Triangle
November, 2015



Existing Zoning

- A-40
- NUD
- PF



Exhibit 1-3: Existing Zoning
 Golden Triangle
 November, 2015

The Golden Triangle Village property is bordered by Vista Boulevard on the north. Surrounding uses include undeveloped land and wetlands beyond Vista Boulevard to the north and west; undeveloped steep land to the south; and the Wingfield Hills community and Hills Golf Course to the east.

The property is currently undeveloped and includes evidence of off road vehicular use. The site slopes to the northwest and has views of the Spanish Springs Valley. There are no major drainage channels on the property. The site is characterized by sparsely vegetated varied terrain. There are no trees on the property.

The property is very developable from a topographic standpoint, and, includes slopes greater than 10% on over 25% (30.40%) of the site. The site is, therefore, subject to the requirements of Section 20.04.011 Slopes, Hilltops & Ridges of the Sparks Zoning Code. Refer to Exhibit 1-4, Slope Map.

Per code (Section 20.040.011 C. 4 c.), the maximum area within each slope category that can be disturbed is as follows:

Slope Category	Total Acres	Max. Disturbed Area	Max. Acreage to be disturbed
0-15%	36.52±	Unlimited	36.52±
16-25%	7.21±	¾ of the category	5.40±
26-30%	10±	1/3 of the category	.03±
30% or above	0*		
Totals	43.83		41.95

*When developing on natural slopes over 30% project design shall be enhanced to create a 2:1 ratio of non-constrained area being preserved as open space for every portion of area with slopes over 30% that is developed.

As shown above, the maximum area of the site that may be disturbed is 41.95± acres, therefore, 1.88± acres of the project site must remain undisturbed and natural.

In addition, a Planned Development must have 20% of land in common open space. This equates to 8.76± acres of the project site. Exhibit 1-5, shows the area of the site (Common Open Space Zone (Zone 5) that will remain in common open space to meet code requirements. In addition, at least 1.88± acres within the Common Open Space Zone 5 must remain undisturbed and natural.

1.2.1 Golden Triangle Village Development Plan

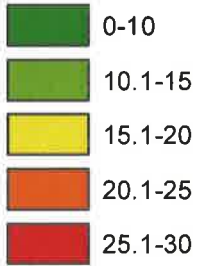
The Golden Triangle Village Development plan envisions a mix of uses in one Development Area and one Common Open Space Area. Refer to Exhibit 1-5 Development Areas.

Residential (Multi-Family and Single Family) and Non-Residential (Commercial) land use designations are allowed in the various development zones with the exception of Zone 5 which is the Common Open Space zone. Only one land use designation, however, may be established for each zone. Once a land use is established, permitted and conditional uses will be allowed pursuant to Table 2-1: Permitted and Conditional Uses. While boundaries and acreages of the development zones are shown, it is the intent of this Handbook to allow flexibility in the exact final locations of the development zones in order to accommodate the ultimate design of each project.

A conceptual Site Plan of how a mix of the various uses is permitted is included (Refer to Exhibit 1-6) for illustrative purposes only. Final development plans may or may not be similar to the conceptual site plan however, must conform to all design regulations and standards in this handbook.

Legend

Slope (%)



Slope (%)	Area (ac.)	% of Total
0-10	30.43	69.7
10.1-15	6.09	13.6
15.1-20	5.01	11.5
20.1-25	2.20	5.0
25.1-30	0.10	0.2
30+	0.00	0.0
TOTAL	43.83	100.0

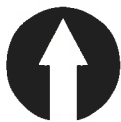
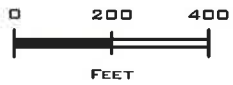
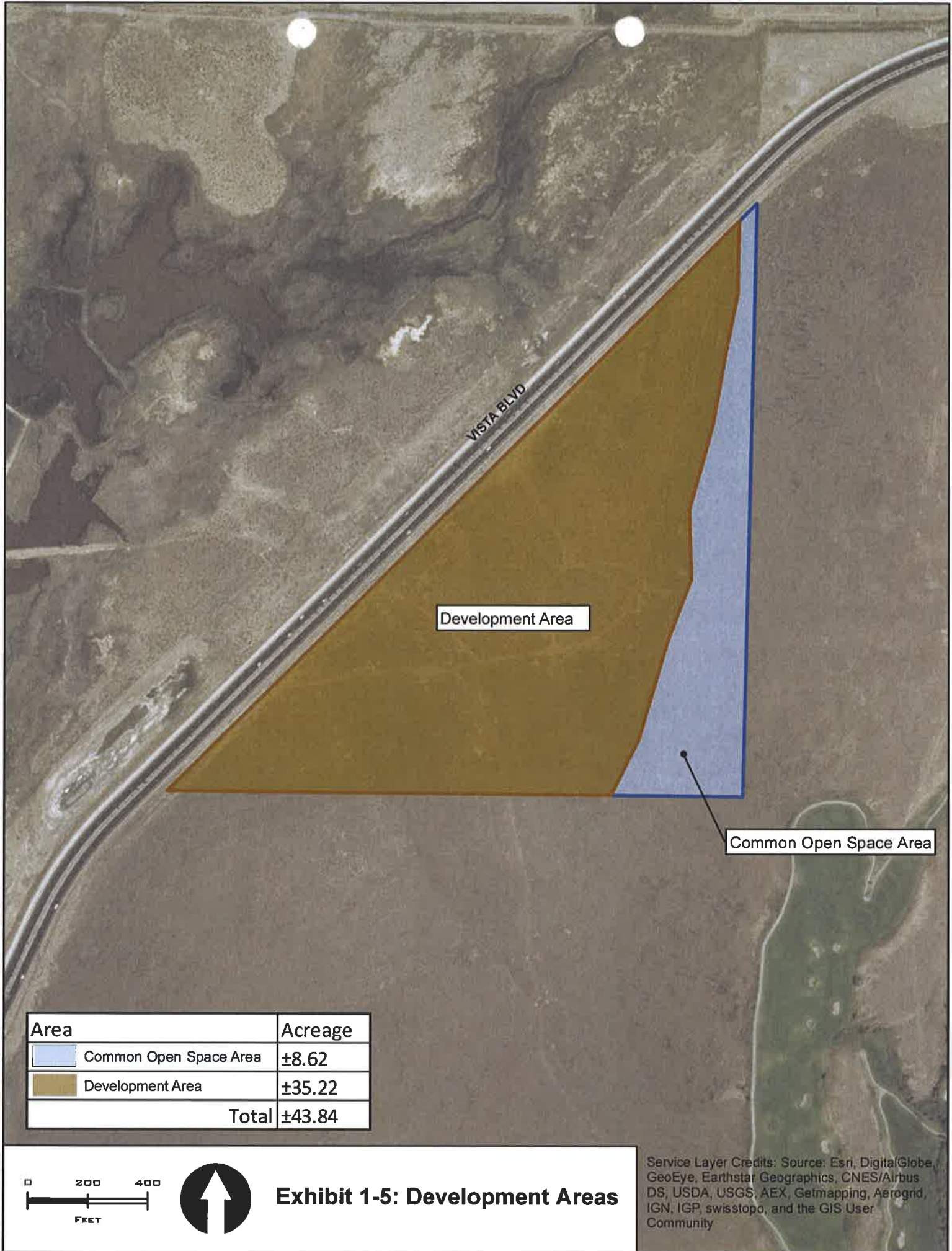




Exhibit 1-4: Slope Map

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Development Area

Common Open Space Area

Area	Acreage
 Common Open Space Area	±8.62
 Development Area	±35.22
Total	±43.84

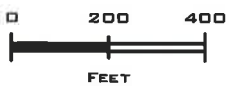


Exhibit 1-5: Development Areas

Service Layer Credits: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

EXHIBIT 1-6: CONCEPTUAL SITE PLAN

SITE INFORMATION:

- AREA 1 - MULTI-FAMILY
 - 21 - 21 UNIT BUILDINGS - 274 UNITS
 - REQUIRED PARKING - 528 SPACES
 - PROVIDED PARKING - 528 SPACES
- AREA 2 - GENERAL COMMERCIAL
 - SITE AREA 1 AC
- AREA 3 - MULTI-FAMILY
 - SITE AREA 2.5 AC
 - 15 - 6 UNIT BUILDINGS - 120 UNITS
 - REQUIRED PARKING - 528 SPACES
 - PROVIDED PARKING - 528 SPACES
- AREA 4 - MULTI-FAMILY
 - 177 UNITS - 172, 357, 46' AVG.
 - SITE AREA 3.5 AC
- AREA 5 - COMMON OPEN SPACE
 - SITE AREA 3.8 AC

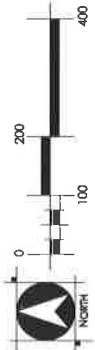
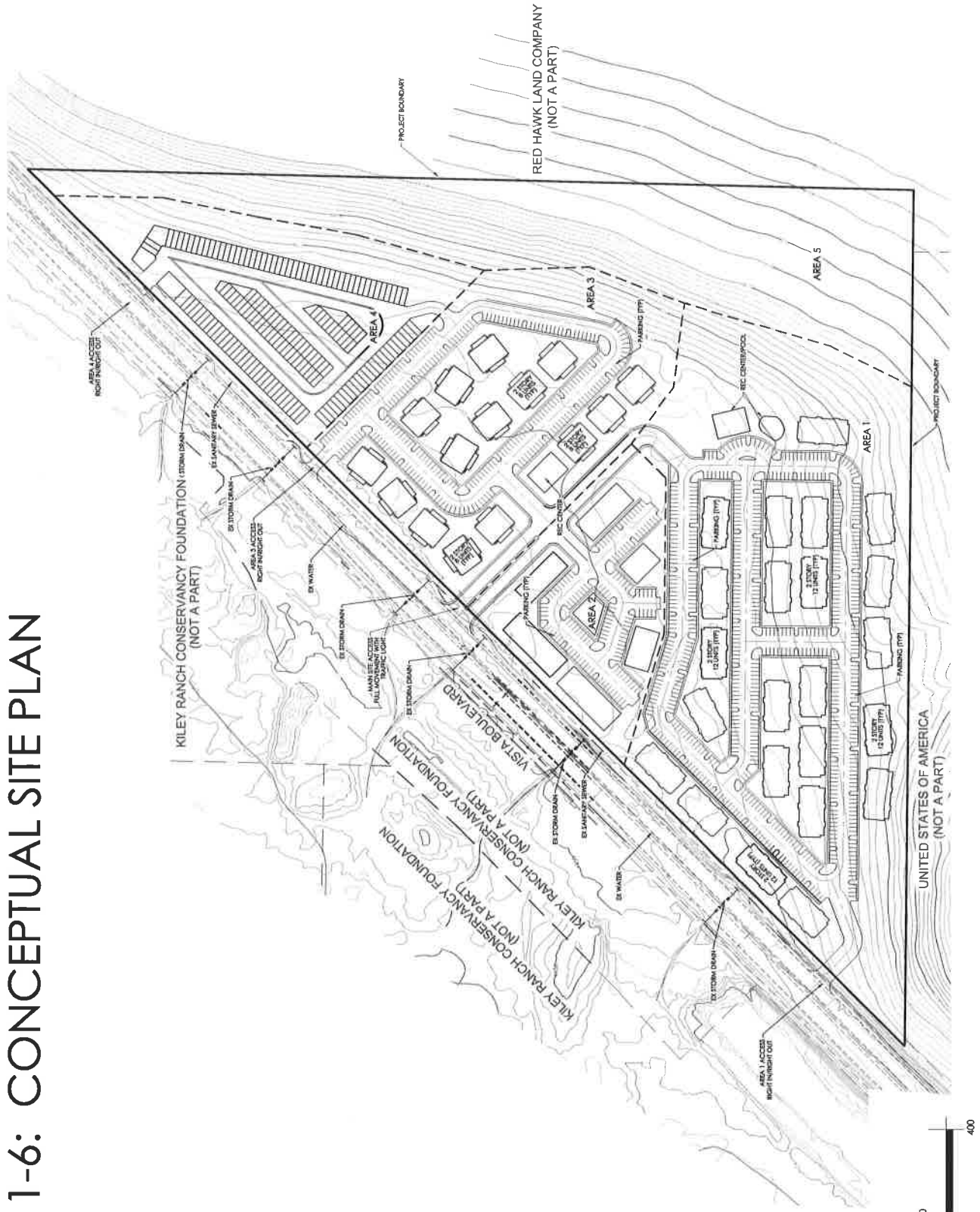


Table 1-1 provides a land use development summary of the Golden Triangle Village project area.

Table 1-1: Conceptual Land Use Development Summary

Land Use Designation	Gross Acres	Maximum Density	Permitted Total Units	Approx. Allowable Sq. Ft.
RESIDENTIAL				
Total Maximum Single-Family Residential	35.07±	11.9 du/acre	361	N/A
Total Maximum Multi-Family Residential	35.07±	23.9 du/acre ⁵	625	N/A
NON-RESIDENTIAL				
Total Maximum Commercial	35.07	0.3- 0.5 ⁶	N/A	590,873
COMMON OPEN SPACE AREA				
20% of site area	8.76±	0	0	0

Notes:

1. The Golden Triangle Village includes one development area and one common open space area. Single family, multi-family and commercial uses are permitted. Permitted area and conditional uses will be allowed pursuant to Table 2-1: Permitted and Conditional Uses.
2. The total number of single family residential units permitted by the Golden Triangle Village Tentative Handbook assuming all development consists of single family residential units at the maximum allowed density is 361. Units may be attached or detached. The total number of multi-family residential units (apartments) permitted assuming all development consists of multi-family residential units is 625. The total number of any combination of residential units, however, shall not exceed 625. The development area can also be a combination of all the uses in Table 2-1 permitted and conditional uses.
3. Commercial uses may be established in the development area. A maximum of 590,873 square feet of building area is permitted assuming all development consists of commercial uses.
4. In addition to the 8.76 acres of open space provided in the Common Open Space Area, formal landscaped areas are required in each development zone as outlined in Chapter 2 of this Development Handbook.
5. Number of units/density is not applicable to assisted living, group residential care, senior housing or residential retirement facilities.

1.3 HANDBOOK APPROVAL PROCESS

1.3.1 Introduction

This section outlines the approval process for this Handbook, discusses the binding effects of the handbook and sets forth the approval process necessary for each individual project.

1.3.2 General Provisions

This Golden Triangle Village Planned Development Handbook (the "Handbook") describes in general terms when, where and how development will occur within the Golden Triangle Village Project area. It provides sufficient specificity to establish a base qualitative standard (the "Development Standards") for all projects in the Golden Triangle Village. It further provides design parameters (the "Design Parameters") to which each Individual Project built within the Golden Triangle Village will conform. It is intended to offer design flexibility while at the same time maintaining development standards. Chapter 2 of the Handbook contains standards and regulations relative to development, which establish the Development Standards as well as standards and guidelines relative to design, which establish the Design Parameters for the Golden Triangle Village.

1.3.3 Handbook Approval Process

This Handbook is being processed pursuant to the Planned (Unit) Development process set forth in NRS Chapter 278A and Section 20.002.012 Planned Development of the Sparks Zoning Code. Planned Developments encourage flexibility and creativity of design and a great diversity of building types, open space arrangements

and other aspects of land planning while, at the same time, preserving public welfare, health and the general intent of the Sparks Master Plan.

A two-step process that involves tentative and Final approval by the City of Sparks ("City") Planning Commission and City Council of the Planned Development application and Handbook is required. Upon Final Approval, the Handbook shall be recorded against the property and governing document for development of the property.

1.3.4 Administration

Golden Triangle, LLC (the landowner at the time of the original approval of this Handbook shall be the master developer in place for this Planned Development (PD). Should the master developer position be designated or assigned to another entity, the assignee shall notify the City of Sparks in writing and provide documentation of the change in entity. The master developer shall continue throughout the development of the PUD until and unless a property owners association, homeowner association or other such entity is created to serve the role of master developer. Master developer rights may be assigned depending on the underlying property ownership and previous assignment of declarant rights, which shall be disclosed to the City of Sparks upon application for development permits. The role of the master developer, for the purpose of this PUD, shall be:

- To prescribe and administer methods and procedures to ensure and control the quality of development that occurs in the Golden Triangle Village PUD;
- To construct, or have constructed, any necessary backbone common elements such as the traffic signal at the project entry, stormdrainage, sanitary sewer, gas, water and electric, streets, landscaping, site amenities, etc.
- To maintain all common area private improvements such as private streets, street lights, landscaping, open space and site amenities.
- To establish Covenants, Conditions and Restrictions (CC&R's) which may allow for the creation of an Architectural Review Committee to maintain consistent project architecture and property owner's/homeowners associates of the comment elements the individual projects and the entire PUD within and enforcement of the CC&R's.

1.3.5 Binding Effect of Handbook

Pursuant to NRS 278A.520, NRS 278A.570, the Handbook cannot be modified or otherwise impaired by the action of the City without the consent of the master developer except as specified in NRS 278A.410. Only the City of Sparks, the Master Developer or its authorized designee or assignee may initiate an amendment to the PUD Handbook. Any proposed amendment shall be requires to follow City of Sparks application requirements and the approval process.

1.4 INDIVIDUAL PROJECT APPROVAL PROCESS

Following approval and recordation of the Golden Triangle Village Planned Development Handbook and prior to application for a building permit for all new construction, individual projects must proceed to the Administrative Review (all new construction), Conditional Use Permit (only if required by the Handbook), Parcel Map or Tentative Map process (single family residential subdivisions), as applicable and as further outlined in Section 20.005 Administration in the Sparks Zoning Code.

All projects are subject to the requirements outlined in the Handbook. It is incumbent upon each potential Project Applicant to become familiar with the Handbook and the City's review process and application requirements.

1.4.1 General Provisions

This Handbook is intended to provide requirements and design standards to ensure high quality residential and non-residential projects are developed within the Golden Triangle Village. Flexibility to allow projects to be responsive to market demands, is important. While boundaries and acreages of the development zones are shown, it is the intent of this Handbook to allow flexibility in the exact final locations of the development zones in order to accommodate the ultimate design of each project. Interpretations of the Handbook may be granted by the City of Sparks Administrator through an approval letter or email correspondence. Where a conflict exists between the development standards in this handbook and the City of Sparks Zoning Code, the standards here in shall apply. Where this Development Handbook remains silent, the provisions and definitions within the City of Sparks Zoning Code and Subdivision regulations shall apply.

In addition, Minor Deviations (less than ten percent (10%) from other requirements and standards in the Handbook or Major Deviations (greater than 10% and less than 50%) shall follow the requirements outlined in Section 20.05.10 Minor Deviations and 20.05.11 of the Sparks Zoning Code.

1.5 DEVELOPMENT RESPONSIBILITIES

Improvement of public areas within the Golden Triangle Village will be the responsibility of individual developers and/or the landowner unless assigned by agreement to other public or private parties. All improvements shall be designed consistent with these standards and guidelines. Maintenance of public and/or common areas within the Golden Triangle Village, including public and private streets, common areas, slopes and landscape buffers will be the responsibility of the property owner, a landscape association, homeowner's or property owner's association, the adjacent property owner or the City of Sparks, unless assigned by agreement to other public or private parties.

1.5.1 Infrastructure Timing

The developer of each individual project shall construct all necessary utilities and improvements required by the City of Sparks for each individual project. Utilities and roadways shall be stubbed to subsequent phases as applicable. Prior to obtaining a certificate of occupancy for the first project, the Master Developer shall install a traffic signal at the main entrance to the site on Vista Boulevard. The owner shall receive offsets from subsequent RTC traffic impact fee requirements.

2. DEVELOPMENT STANDARDS AND GUIDELINES

2.1 PURPOSE AND COMPLIANCE

The purpose of Chapter Two is to set regulatory requirements and development standards within which developers building in the Golden Triangle Village must maintain to ensure that projects will contribute to the character and vision outlined for the various land uses located within the development area and one common open space area of the Golden Triangle Village mixed use project area as shown in Exhibit 1-5, Golden Triangle Village Development Areas. Architecture standards and guidelines are also provided to ensure projects within the Golden Triangle Village are attractive and relate to one another.

All development shall comply with the text, policies, standards, and associated tables and exhibits of this Development Handbook. Note: The photographs contained in this Development Handbook are provided to convey the general design intent of the standards and guidelines and are not intended to require the specific design style depicted.

PERMITTED LAND USE DESIGNATIONS AND PERMITTED AND CONDITIONAL USES

Residential (Multi-Family and Single Family) and Non-Residential (Commercial) land use designations are allowed in the development area and, are prohibited in the common open space area. Permitted and conditional use are outlined in Table 2-1: Permitted and Conditional Use.

TABLE 2-1: Permitted and Conditional Use

PERMITTED USES (X):	Permitted Outright	Use Subject to CUP
<u>Multi-Family Residential</u>		
Group residential care facilities, assisted living, senior housing (Life care or continuing care services)	X	
Multi-family residential (apartments) (23.9 du/acre maximum)	X	
<u>Single Family Residential</u>		
Single-family residences (attached – duplexes, townhomes, condos)	X	
Single family residences (detached)	X	
<u>Non-Residential</u>		
Animal services (indoor)	X	
Athletic/health fitness club	X	
Athletic/Health Fitness Club over 3,000 square feet in size		X
Automated teller machine, stand alone	X	
Banks/financial institutions including drive thru	X	
Car wash	X	
Childcare centers	X	
Church or worship center	X	
Convenience stores with or without gasoline sales	X	
Copy Center	X	
Drive through businesses	X	
Gas station with or without convenience store	X	
General retail sales	X	
Grocer/Food Market	X	
Medical office, clinic, imaging, or laboratory	X	
Mini-warehouses (including outdoor vehicle parking) with or without caretaker quarters	X	
Personal Services (as defined by the City of Sparks Zoning Code)	X	

PERMITTED USES (X):	Permitted Outright	Use Subject to CUP
Professional Offices	X	
Restaurants (sit down and/or fast food with or without alcohol sales)	X	
Urgent Care Facility	X	
Uses operating on a 24 hour basis or between 11:00 p.m. and 6:00 a.m.	X	
OTHER REQUIREMENTS REQUIRING APPROVAL OF AN ADMINISTRATIVE REVIEW APPLICATION		
All New Construction		
Uses Requiring Approval Of A Tentative Map – Subdivision of land including more than 4 lots		
Uses Requiring Approval Of A Parcel Map – Subdivision of land including 4 lots or less.		
Minor/Major Deviations or Variance Requests – Are subject to the City of Sparks Zoning procedures.		

Note: The only uses allowed in the common open space area are grading, pedestrian trails, recreational amenities and such uses.

2.2 RESIDENTIAL SITE PLANNING STANDARDS AND GUIDELINES

The residential land use designation provides for single family and multi-family uses including group residential care facilities such as assisted care and senior housing communities. Specific permitted uses are outlined in Table 2-1, Permitted and Conditional Use. This section addresses site planning development standards and guidelines for residential uses.

2.2.1. Residential Setbacks and Density Requirements

Setbacks and Density requirements are outlined in Table 2-2, Residential Setbacks and Density Requirements.

TABLE 2-2: Residential Setbacks and Density Requirements

TYPE	RESIDENTIAL	
DESCRIPTION	The residential designations allows for single family and multi-residential development, including group residential care facilities. Typical uses include attached and detached single family homes; multi-family complexes such as apartments and group residential facilities including assisted care and senior housing communities.	
Land Use Type	Multi-Family Residential	Single Family Residential
Maximum Density	23.9ac/du²	11.9du/ac
Building Height	65 ft.	30 ft.
Building Separation	0 ft. or 20 ft.	0 ft. or 10 ft.
Minimum Lot Size	N/A	2,000 s.f.
Minimum Lot Width	N/A	30 ft.
LANDSCAPING		
Landscape Requirement	20%	N/A ⁴
SETBACK FROM MAJOR ARTERIAL		
Vista Boulevard (Right of Way)	20 ft.	20 ft.
BUILDING SETBACKS FROM PROPERTY LINE⁵		
Front (for main structure and porch)	10 ft.	10 ft.
Front to Garage	N/A	20 ft. ³
Side	10 ft.	0 ft. or 5 ft.
Rear	10 ft.	15 ft. min. ⁵
BUILDING PROJECTIONS	See item 1 below	See item 1 below
<p>1 – Cornices, overhangs, chimneys, bay windows and eaves (maximum of 10 sf) may extend not more than two (2) feet into any required side or rear setback. Decks, balconies and landings above the ground floor elevation of a building, exterior stairways, and portions of uncovered decks or porches may extend not more than five (5) feet into any required, side or rear setback.</p> <p>2 – Number of units/density is not applicable to assisted living, group residential care or senior residential retirement facilities.</p> <p>3 – Setback may be reduced by 10% for attached developments including alley and/or side loaded garages that provide additional off-street parking spaces.</p> <p>4 – 20% Required for attached developments.</p> <p>5 – If adjacent to Vista Boulevard a 20 foot setback is required.</p>		

2.3 MULTI-FAMILY RESIDENTIAL USES

This section addresses development standards for multi-family residential projects (including group residential care, assisted care, retirement facilities or senior housing).

2.3.1 Multi-Family Residential Building Orientation

- a) Building placement and orientation shall be designed to create visual interest along Vista Boulevard and other public right-of-ways and within the project. Buildings and landscape elements in a single project shall demonstrate a positive functional relationship to one another.
- b) Residential buildings should be grouped in clusters and sited to minimize the scale of the project. Setbacks should be varied to provide visual interest and varying shadow patterns. Larger building masses should provide larger open space areas. Small blocks of parking with walks, entries, and mailboxes within each cluster of buildings shall be utilized to provide convenience and a sense of identity.
- c) Buildings shall be oriented and clustered in such a way as to provide courtyards and open space areas. The common area shall be accessible to the majority of the surrounding units and shall include usable area, not steep in slope or riparian in nature.
- d) To provide privacy between living spaces, there should be distance separations, buffering or changes in the angles of units.
- e) All multi-family residential developments shall incorporate pedestrian connections to parking, buildings, common space and recreational facilities as well as to sidewalks inside and outside the project area.



2.3.1 (a) Building setbacks and orientation with landscaping creates visual interest from roadways.



2.3.1 (b) Building orientation variations create interest with multi-residential projects.



2.3.1 (c) Multi-family projects with landscape areas surrounded by residential units in a courtyard setting provide safety and community interaction.



2.3.1 (e) Pedestrian connections allow residents to walk to sidewalks inside and outside of project area.

- f) Multi-family residential developments with less than 100 units including group residential care, assisted care, senior housing or retirement facilities shall incorporate three (3) of the following recreational facilities and amenities. Development with over 100 units shall include five (5) amenities:

- Children's playground (play structures)
- Swimming pool
- Tennis courts
- Horseshoe court
- Spa
- Community building (exercise equipment game room meeting space, kitchen, etc.)
- Par course
- Walking paths
- Picnic areas to include tables
- Barbecues
- Volleyball court
- Basketball court
- Court and lawn areas for games
- Garden areas with seating
- Courtyards with decorative paving or architectural elements
- Fountains with seating
- Shade structures with seating
- Outdoor fireplace or fire pit
- Or similar amenities of scale as approved by the Administrator

- g) The recreational facilities shall be conveniently and centrally located for the majority of the units.
- h) Private open space, such as decks or patios shall be required for each unit and must be contiguous to the units with a minimum of 25 square feet.

2.3.2 Multi-Family Residential Grading

- a) The design of multi-family residential projects shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Site grading shall be designed to complement the architectural and landscape design character of the community, screening parking and service areas, reducing the perception of height and mass on larger buildings, and providing reasonable transitions between buildings.



2.3.1 (f)(g) Multi-residential projects providing recreational amenities add to the quality of life for residents.



2.3.1 (g) Shared open-space amenities such as barbecue areas, lawn areas and children's play areas add to the convenience and quality of life in multi residential neighborhoods.

- c) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with Section 20.04.011, Slopes, Hillside & Ridges of the City of Sparks Zoning Code.
- d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- e) All graded slopes shall be re-vegetated prior to building occupancy. Vegetated slopes shall not exceed an average of 2:1 slope and turf areas shall not exceed an average 4:1 slope. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for re-vegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- f) The developer shall submit an erosion control plan with each grading plan.



2.3.2 (e) Revegetated slopes provide a transition from the street to the project site.

2.3.3 Multi-Family Residential Parking Requirements

General parking lot design, configuration, sizes of parking stalls and aisles, as well as the minimum number of spaces required shall comply with Section 20.04.009 of the Sparks Zoning Code. In addition, landscaping islands and planting requirements in parking areas shall comply with Section 20.04.006 of the Sparks Zoning Code.

2.3.4 Multi-Family Residential Entry Drives, Parking Lots and Drop Off Areas

- a) Entrances and driveways into the complex shall be distinct. Entry drives shall be enhanced with landscaping and signage to create a statement of arrival. Entry driveways shall include three of the following:
- Monument Signage
 - Stamped Concrete/Decorative Paving/Pavers
 - Lighting
 - Outdoor artwork
 - Fountains/Water Features
 - Any similar material approved by the Administrator
 - For landscaping requirements refer to Section 2.3.5
- b) Entry drives shall be a minimum of 10 feet wide on both sides of a divided travel way and include a 4 foot wide sidewalk on both exterior sides of travel lane.
- c) Parking areas shall be distributed throughout the complex to provide convenience to users, visitors and employees.



2.3.4 (a)(d) Accent entries provide visual interest and safe pedestrian crossings.

- d) Convenient and safe pedestrian connections to building entries shall be provided from public street sidewalks, parking and drop off areas through the design of an internal pedestrian network with concrete sidewalks a minimum of 4 feet in width.
- e) Parking spaces shall be designed as to not result in vehicle overhang onto sidewalks.
- f) Garages and covered parking spaces are encouraged in multi-family projects. Carports and garages, if provided, shall be designed as an integral part of the architecture of the development. They shall be similar in materials, color and detail to the principal building of the development. Carports shall be designed to complement the architecture of the main buildings.



2.3.4 (f) Carports are an amenity in multi-residential projects.

2.3.5 Multi-Family Residential Landscaping

The landscape design concepts and plant materials incorporated shall be consistent in form, texture and color with the overall architectural theme of each project. Landscaping shall comply with the regulations governing landscaping contained within Chapter 20.04.006 of the Sparks Zoning Code. For the purposes of this handbook, permitted multi-family residential projects shall be subject to the requirements outlined for Residential Multi-Family districts (MF).

- a) Required landscaping shall be provided with each phase of the project. Undisturbed areas not defined as the specific site area may remain in their existing undeveloped state until additional phases of the project are constructed as long as dust control measures are taken as necessary. At build-out, all development areas (excluding natural and common open space areas) not utilized for parking, buildings, plazas and site amenities or access/circulation shall be landscaped.
- b) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
- c) All landscape areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems (with the exception of drip lines) shall be placed underground.
- d) Accent landscaping such as specimen trees, colorful perennial shrubs, groundcovers, tall grasses and flowers shall be used at major entries to the complex.



2.3.5 (b) Attractive, low water demand plant materials reduce water usage.



2.3.5 (d) A variety of accent landscaping provides interest to multi-residential projects.

- e) Required landscape areas may include decorative hardscape plazas, special gardens, picnic tables, and public areas with outdoor artwork such as sculptures, fountains and/or seating.



2.3.5 (e) Decorative landscape areas provide seating for residents.

2.3.6 Multi-Family Residential Lighting

- a) Lighting shall comply with the regulations governing lighting contained in Section 20.004.007 of the Sparks Zoning Code.
- b) A master lighting program for each individual project shall be developed to establish the style and type of light for the entire development so the light poles and fixtures are consistent throughout the project. Lights, including street lights, however, may consist of standard fixtures or decorative designs approved by NV Energy and the City of Sparks Administrator. All lights shall be consistent throughout each individual project.
- c) Lighting fixtures and types shall differentiate use areas and emphasize project amenities, such as plazas, walkways and building entries. The owner shall be responsible for maintenance.
- d) When locating parking lot, walkway and area lighting, safety shall be of concern. Lighting shall be located in areas that provide a safe and pleasant environment for pedestrians.
- e) Parking lot, walkway and area lighting heights shall be reflective of the architecture of the project and be in scale with the setting.
- f) Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination. The use of bollard lighting is encouraged in pedestrian areas.
- g) Accent lighting may be used to facilitate way finding, building entries and plaza and public areas.
- h) Minimal energy consumption shall be a factor in lighting type selection.

2.3.7 Multi-Family Residential Signs

Consistent signage to provide for identification and way finding is critical to the success of any multi-family residential complex. All multi-residential projects require a directory sign at the entrance. Primary entry identification signage; exterior way finding signs, and building entrance signage are anticipated to be necessary with development of any complex.

All signs shall be in accordance with Chapter 20.040.010 of the Sparks Municipal Code. For the purposes of this handbook, permitted multi-family residential projects shall be subject to the requirements outlined for MF Multi-family zoning.

2.3.8 Multi-Family Residential Gates, Walls and Fences

Walls and fences shall be utilized to provide security, as well as a buffer and screening between different land uses. It is important, however, that walls and fences are appropriately integrated into each project.

- a) Gates, walls and fences within multi-family residential projects shall comply with the following standards as well as the regulations contained within Sections 20.04.004 of the Sparks Zoning Code. Where a conflict exists between these development standards and the City of Sparks Zoning Code, the standards herein shall apply.
- b) Decorative gates at project entrances are permitted and shall be an average of six feet in height.
- c) Solid walls shall be used to screen service, loading, and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent residential uses.
- d) Walls and fences may be up to six feet in height and may be located in around the perimeter of the project area.
- e) Fencing may include open view or solid designs. Materials may include: metal, wrought iron, wood (including synthetic products) or masonry. Solid walls may be slump, split face or standard integral colored or stamped masonry (prefabricated) units.

2.3.8 (e) Open view fencing enhances views inside and outside multi-residential projects.
- f) All gates, walls and fences shall be consistent within each individual project in terms of material, color and incorporated into the design of the surrounding buildings
- g) Solid walls, if used adjacent to Vista Boulevard shall incorporate at least one of the following every 50 linear feet:
 - a. At least a two-foot change in plane for at least 10 feet;
 - b. At least 18-inch raised planters for at least 10 feet;
 - c. Use of a pilaster at 75-foot intervals, on property corners or at changes in wall planes or;
 - d. A section of open metal fencing at least 4 feet in height for at least 10 feet.

2.3.8 (g) Solid walls with pilasters and changes in planes add visual interest to projects.
- h) Rockery walls used for slope stability shall be a maximum height of six feet. Benches, 5 feet in width, are required between multiple sets of walls.
- i) Barbed wire, plain exposed concrete block, and chain link are prohibited in multi-family residential projects.
- j) Chain link may be used during construction on a temporary basis at construction sites.

2.3.9 Multi-Family Residential Service, Trash Loading and Utility Areas

a) Trash enclosures shall allow convenient access for each tenant in both location and design.

b) Trash enclosures shall be constructed to be architecturally compatible with each project. All trash enclosures shall screen 80% of the refuse area and shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). The gates shall be constructed of durable material that screens the trash enclosure. Wood and chain link gates are not allowed.



2.3.9 (b) Trash enclosures with landscape screens and architecture that is similar to that of the project help to minimize the negative visual impact of these structures.

c) Switch boxes, transformers, electrical and gas meters, including ground mounted air conditioning units and other above ground or building mounted utility elements (including antennas or satellite disks) shall be screened or located out of view from public roads, driveways and common public areas, such as exterior entrances, as feasible.

2.3.10 Multi-Family Residential Architecture

The architecture of multi-family residential (including group residential care, assisted care or retirement facilities) projects shall be visually interesting in style and provide a strong design statement, as well as a sense of identity for the community.



2.3.10 Visually interesting senior retirement facilities enhance a sense of community.

2.3.11 Multi-Family Residential Building Mass and Form

a) Visual interest shall be created in building facades through the incorporation of articulation. Long flat expanses of walls over 50 feet that do not incorporate color, texture or material change, plane projections or recesses that are a minimum of 6 inches are not allowed.

b) Accent medallions, inset or framed may be used in large expanses of walls at a scale appropriate to the building. The material for these shall be complementary to the design. Building wainscots are also encouraged for large expanses of wall surfaces.



2.3.11 (a) Contemporary multi-residential architecture with articulated facades provides a strong design statement.

c) Articulated facades shall be used on all sides of the building including vertical and/or horizontal.

d) Projects shall include architectural features such as plazas, gardens, courtyards and patterns that provide pedestrian scale visual interest.

- e) Multiple buildings, shall be designed to be compatible with a unified appearance of consistent building materials, texture, color or design. Varied building heights and sizes with clustered designs and pedestrian connections are encouraged.

2.3.12 Multi Family Residential Building Entryways

- a) Entryway design elements and variations shall be designed to give orient to the users, visitors and employees to the building entrances.
- b) Buildings shall have highly visible and clustered entrances featuring at least three (3) of the following:
- canopies, porticos, or awnings
 - unique roof expressions including overhangs and varied roof forms
 - innovative use of exposed structural elements
 - recesses/projections (minimum 2 feet) for front (main entrance to the building) elevations and 6 inches for side and rear elevations
 - windows
 - raised and corniced building forms with parapets above the door
 - peaked roof form elements
 - arches
 - pilasters
 - covered areas
 - outdoor patios
 - architectural details such as tile stone or brick work, molding, and trim work
 - integral planters or wing walls that incorporate landscaped areas and/or places for sitting
- c) Entryways may be highlighted with towers, angled doors or deep-set doors.
- d) Color, signage, material accents, architectural features, and/or awnings should be used to highlight entryways.
- e) Stairs shall be compatible with the architecture of the buildings and integrated into the design of the building.



2.3.11 (c) Architectural enhancement of facades provides contemporary and interesting design statement.

2.3.13 Multi-Family Residential Roof Form

- a) Variations in rooflines or architectural features shall be used to add interest to and reduce the scale of large buildings. Roofs shall have variations accomplished by changes in plane or by the use of traditional roof forms such as dormers (pitched, shed-roof or eyebrow), gables, hipped roofs and variations in pitch every 75 feet. When a flat roof is used, it must relate to the architectural style as approved by the Administrator.



2.3.13 (a) Buildings that include unique roof expressions, entries and arches add visual interest to multi-residential projects.

- b) The visible roof profile elements shall incorporate horizontal and vertical offsets, elevation changes and varying roof overhangs in proportion to building size where possible for a cohesive design statement. Elemental form changes are encouraged, interrelating upper flat forms with varying sloped and pitched designs.
- c) All roof-mounted equipment shall be screened from adjacent properties, public rights-of way, and driveways/common areas within each project. The screening elements shall be designed to be consistent with building architecture.
- d) The underside of all eaves shall be constructed of a material complementary to the roof and building.
- e) Roof materials shall include slate or simulated slate, ceramic tile, concrete tile, architectural grade fiberglass, architectural grade composition shingles or equivalent materials approved by the City of Sparks Administrator.



2.3.12 (a)(b) Varying roof profiles reduce the scale of buildings.



2.3.12 (b) Varied roofs, window location and trim elements provide interest to buildings.



2.3.13 (a)(d) Roof profiles and attention to detail on the underside of eaves enhances cohesive architecture.

2.3.14 Multi Family Residential Materials and Colors

a) Buildings shall be evaluated as individual but related components essential to the overall design of the complex. Materials and colors of all buildings shall be compatible and consistent with the chosen architectural style. Each material and color will become part of a design palette which will ultimately strengthen and communicate the theme to the residential community.



2.3.14 (a) Materials and color compatibility adds to the attractiveness of multi-residential projects.

b) Exterior building wall finishes shall include at least two blends of varying materials besides the predominate exterior building material. Predominant exterior building materials shall be of high quality. These shall include, but are not limited to:

- brick or masonry products
- stained, painted or weathered wood/cementitious products such as heavy timbers or stock lumber
- tinted, textured stucco or dryvit
- metal such as corrugated, battened or standing panelized systems; performed painted or stained metal shapes
- stone veneer/cultured stone/other native stone
- integral color split face or rough cut concrete masonry units
- color bands

c) Accent colors should be used to emphasize special façade elements in order to achieve an aesthetically appealing environment while maintaining the ability to stand out and attract attention at focal points, such as entries. Facades shall generally utilize low reflective palette colors in broad expanses. The use of high intensity, very dark or fluorescent colors is discouraged. Metallic colors, are allowed. Building trim and accents may feature a brighter, more intense palette of colors use to direct focus toward important building elements.



2.3.14 (c) Accent colors and building materials enhance building facades.

d) The following exterior building materials are not allowed:

- exposed neon on building facades for decorative purposes
- basic non-dimensional asphalt singles
- tilt-up concrete panels
- smooth face block especially without integrated color
- painted brick or stone not left in their natural colors

f) Change of materials or color shall occur at changes in plane or at a logical break point. Accent colors can be used for shutters, trim, balcony rails, stucco recesses, or cornice bands and shall related to the architectural character of the building.

2.4 SINGLE FAMILY RESIDENTIAL USES

This section addresses development standards for single family (attached and detached) residential projects.

2.4.1 Single Family Residential Areas

Site planning, architectural design and landscape design shall be integrated into a unified neighborhood concept for attached and detached single family residential designs. This can be accomplished through a variety of designs including: unique entry features; theme wall and fencing; private pocket park design elements; special landscape treatments, planters, and other elements; consistent use of building clusters; and pedestrian linkages.

2.4.2 Single Family Residential Neighborhood Design

Single family residential development in the Golden Triangle Village will promote visual diversity and avoid monotonous development patterns. This can be achieved through the use of several techniques including: minimizing the visual impact of the garage; providing varied exterior facades and finishes avoiding repetitious floor plans and footprints; varying setbacks at porches, garages and living areas; and reduced building heights. The following standards and guidelines promote visual diversity along the streetscape and promote the use of street-oriented architecture.

- a) Forward architecture design is required for at least one of the home models. This is accomplished by placing entries, windows, front porches, and living areas towards the street.
- b) Each project shall provide three distinct house plan with a variety of choices for facades finishes available to buyers.
- c) At least two house plans per project should be developed for corner lots with a variety of choices for facades and finishes available to buyers. Corner lots require wrap-around architecture and the ability to turn the garage for side entry where practical.
- d) Neighborhoods shall provide pedestrian connections throughout the Golden Triangle Village. Open cul-de-sacs should be provided to enhance connections where appropriate and as determined by the Administrator.

2.4.3 Single Family Residential Grading

- a) The design of single family residential neighborhoods shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with Section 20.04.011, Slopes, Hillsides & Ridges of the City of Sparks Zoning Code.
- c) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.

- d) All graded slopes shall be re-vegetated prior to building occupancy. Vegetated slopes shall not exceed an average of 2:1 slope and turf areas shall not exceed an average 4:1 slope. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for re-vegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- e) Slope banks used in conjunction of the terracing of residential lots shall be maintained by the property on the down slope side.
- f) The developer shall submit an erosion control plan with each grading plan.

2.4.4 Single Family Residential Parking Requirements

General parking requirements, as well as the minimum number of spaces required for single family attached and detached residential units shall comply with Section 20.04.009 of the Sparks Zoning Code.

2.4.5 Single Family Residential Landscaping

The landscape design concepts and plant materials incorporated shall be consistent in form, texture and color with the overall architectural theme of each project. Landscaping shall comply with the regulations governing landscaping contained within Chapter 20.04.006 of the Sparks Zoning Code.

- a) The landscape character in the front yards and common areas should be consistent throughout each development.
- b) Front yard landscaping is required for all homes and will be reviewed and approved with the final map establishing installation timing.
- c) Front yard landscape packages shall be provided by developers/builders subject to the review and approval of the City of Sparks and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided (minimum 3 packages); front yard landscaping designs with berming, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and at least one (1) package shall have a minimal use of turf/lawn (no more than 25 percent of the planted area in the front yard). Designs shall include a minimum of one tree and ten shrubs.

2.4.6 Single Family Residential Lighting

- a) Lighting shall comply with the regulations governing lighting contained in Section 20.004.007 of the Sparks Zoning Code. Where a conflict exists between these development standards and the City of Sparks Zoning Code the standards contained herein shall apply.
- b) A master lighting program for each individual project shall be developed to establish the style and type of light for the entire development. Lights, including street lights, however, may consist of standard fixtures or decorative designs approved by NV Energy and the City of Sparks Administrator. All lights shall be consistent throughout the project.

- c) Lighting shall be designed to differentiate entries and community amenities, provide continuity along street corridors and ensure the safety of residents and users.
- d) Exterior lighting shall be shielded from projection offsite and designed to be compatible with the architectural and landscape design of the home.

2.4.7 Single Family Residential Signage

Signage within single family residential projects is limited to monument entry signage and shall comply with the regulations governing signs contained within Chapter 20.040.010 of the Sparks Zoning Code. For the purposes of this handbook, permitted single family residential projects shall be subject to the requirements for SF Residential zoning.

2.4.8 Single Family Residential Walls and Fences

Walls and fences shall be utilized to provide security, as well as a buffer and screening between different land uses. It is important, that walls and fences are appropriately integrated into each project. Community walls and fences shall be used where necessary to provide privacy and security for single family residential neighborhoods from Vista Boulevard and adjacent collector roads.

- a) Gates, walls and fences within single-family residential projects shall comply with the following standards as well as the regulations contained within Sections 20.04.004 of the Sparks Zoning Code.
- b) A master fencing plan for each single family residential project shall be prepared by the developer and submitted to the City of Sparks for approval with the tentative map application for the project in which the walls are to be constructed. The master fencing plan shall identify locations for solid walls and fences and open view designs. All gates, walls and fences shall be consistent in terms of material, color and incorporated into the design theme of each individual project.
- c) Decorative gates at project entrances are permitted and shall be an average of six feet in height.
- d) Walls and fences may be up to six feet in height and may be located in around the perimeter of the project area.
- e) Fencing may include open view or solid designs.

Open View Design: Materials may include metal, tubular steel or wrought iron, as well as wood or simulated wood for split rail designs. Appropriate for multi-family and non-residential projects.

Solid Wall Design: Appropriate materials for solid wall designs include stone, stone veneer, split fence/precision block, stucco, slump stone or standard integral colored or stamped masonry (prefabricated) units. Appropriate for multi-family, single family and non-residential projects.



2.4.8 (d)(e) Perimeter fencing adjacent to streets with pilasters and complimentary materials provide for an attractive project statement.

Solid Fence Design: Materials for solid fence may include wood, or simulated wood. Appropriate for single family residential projects.

The design style, color and detail shall be consistent throughout each project in the Golden Triangle Village development.

- f) Solid walls, if used adjacent to Vista Boulevard shall incorporate at least two of the following every 50 linear feet. If not adjacent to Vista Boulevard at least one item shall be incorporated:
1. At least a two-foot change in plane for at least 10 feet;
 2. At least 18-inch raised planters for at least 10 feet;
 3. Use of a pilaster at 75-foot intervals, on property corners or at changes in wall planes or;
 4. A section of open metal fencing at least 4 feet in height for at least 10 feet.
 5. A complementary color band or different texture material.



2.4.8 (f) Solid walls with curves and changes in plane enhance projects.

- g) All walls and fences associated with a development project shall be installed concurrently with the development. Maintenance of perimeter fencing adjacent to Vista Boulevard shall be by a Homeowners Association. Interior fencing shall be maintained by the individual property owner.

- h) Rockery walls used for slope stability shall be a maximum height of six feet. Benches, 5 feet in width, are required between multiple sets of walls.

- i) Barbed wire, plain exposed concrete block, and chain link are prohibited in single-family residential projects.

- j) Chain link may be used during construction on a temporary basis at construction sites.



2.4.9 (a)(b) Raised planted medians calm traffic and pocket parks provide a neighborhood entry feature.

2.4.9 Single Family Residential Neighborhood Entry

- a) A neighborhood entry treatment shall occur at the primary entry to each neighborhood area.

- b) Entries shall incorporate five of the following elements:
- Ornamental trees
 - Groundcover or turf
 - Native materials designed to look natural
 - Boulders
 - Distinctive architectural elements or artwork



4.2.9 (b) Landscaping at the entry point to individual neighborhoods sets the theme and image for the neighborhood.

- Entry Signage
- Raised planted medians
- Pavers, stamped concrete or decorative paving
- Monuments
- Community Artwork
- Decorative Lighting

2.4.10 Single Family Residential Architecture

One important goal of these guidelines and standards is to create a streetscape possessing both functional and visual variety for single family attached or detached projects. The architectural guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where nearly identical homes line the streets without variation in placement and architecture form are not permitted.

2.4.11 Single Family Residential Building Mass and Form

- a) A minimum of three (3) distinctive floor plans shall be used within each subdivision. A subdivision with twenty (20) or less lots must have at least two (2) distinctive floor plans.
- b) The architectural character and detailing similar to that of the front elevations shall include trim on all windows to be utilized on all four sides of the home.
- c) Any building addition or accessory building(s) (over 200 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.
- d) The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through varied setbacks, floor plans, building materials, color schemes, facade detailing and rooflines. A minimum of four options for each home plan shall be required.
- e) The stepping back or change in materials and color of a second story is encouraged and can be used to add variety to homes and the street.
- f) Decorative Garage Door Treatment: Garage door decorative treatments to complement the style of the homes are encouraged. Garage doors may include windows, decorative hardware and raised features, as well as complementary colors that provide visual interest.



2.4.11 (e) First and second stories are differentiated by color and materials.

2.4.12 Single Family Residential Roof Form

- a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the homes chosen architectural style. Pitched roofs are preferred, shed roof designs are also permitted. Flat roofs on single family residential structures are discouraged.
- b) Roof materials shall include slate or simulated slate, ceramic tile, concrete tile, architectural grade fiberglass, architectural grade composition shingles or equivalent materials approved by the City of Sparks Administrator.



2.4.12 (a) Varied roof planes including shed roof design and second story facade details add visual interest.

2.4.13 Single Family Residential Materials and Colors

- a) Exterior elevations shall demonstrate a unified appearance in each individual project. The interface between the home and the garage shall use complementary materials and/or colors in keeping with the architectural style.
- b) Change in materials or color shall occur at changes in plane or at a logical break on the façade. Accent colors may be used for shutters, trim, balcony rails, columns, porches, stucco recesses, or cornice bands and shall relate to the architectural character of the building. Accent materials utilized on the front façade corners shall extend and continue around the corners a minimum of 2 feet or a logical break on the side façade.



2.4.13 (b)(c) Richly detailed surfaces, modulated facades and varied rooflines as well as setback garages create attractive, street-facing facade.

- c) Homes shall incorporate a minimum of two building material types. Predominant exterior building materials shall be of high quality. These may include, but are not limited to:
 - brick or masonry products
 - stained, painted or weathered wood/cementitious products
 - tinted, textured stucco or dryvit
 - stone veneer/cultured stone/ other nature stone

2.4.14 Single Family Residential Garages and Porches

- a) The home and the yard rather than the garage shall be the primary emphasis of the street elevation.
- b) Each subdivision house plan shall incorporate one of the garage and one of the porch design techniques listed below to reduce the emphasis of the garage on the street.



2.4.14 (a)(b) Recessed garages give importance to the entry and create a pedestrian friendly neighborhood.

Front Porches

The use of front porches is encouraged. They shall be integrated into the building form to add articulation to otherwise large unbroken wall masses. Front porches may encroach into the front yard setback 5 feet provided the roof of the porch is solid and the porch is a minimum of thirty-six (36) square feet with a minimum dimension of four (4) feet.

Recessed Garage

Setting the garage back a minimum of five (5) feet in relationship to the front of the house reduces the overall visual mass of the garage.

Deep Recessed Garage

Setting the garage back to the middle or rear of the lot. This creates a more pedestrian-friendly street environment by allowing the homes primary entryway to address the street.

Side Entry Garage

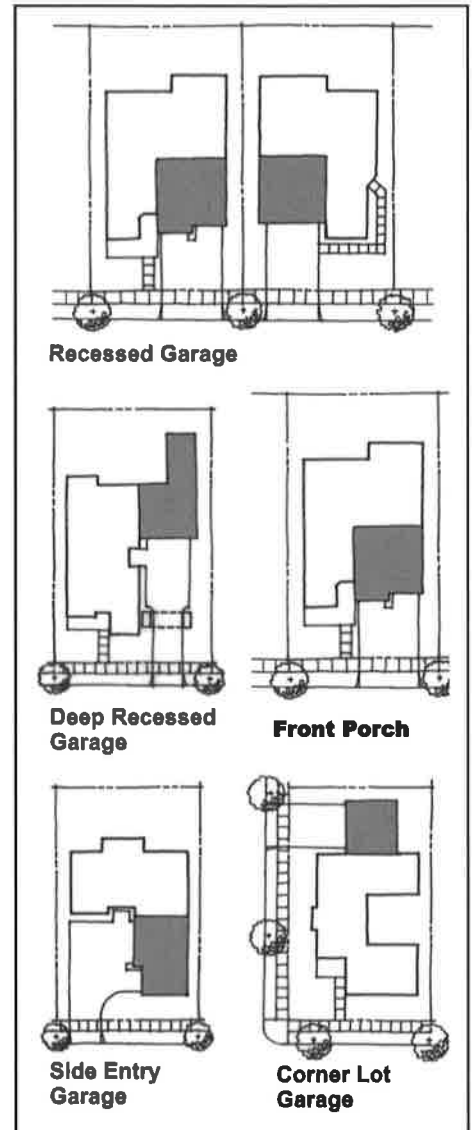
This design technique breaks up the continuous view of garage doors along the street. The façade of the garage facing the street shall incorporate architectural features, windows, faux windows, or other details.

Corner Lot Garage

This garage design is derived out of a plan layout where the garage changes from an interior lot plan to a corner lot plan.

2.4.15 Single Family Residential Support Structures

Residential exterior support structures can have a negative impact on the appearance of the streetscape and neighborhood character. To minimize the impacts of support structures all HVAC, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape lighting shall be screened with landscaping or architectural features integrated into the home design. In addition, space shall be provided in an adjacent side yard or interior portion of the garage to handle the size of at least two recycling/trash containers and shall be shown on plans.



*Note: Single family detached examples are shown, however similar concepts would apply for single family attached projects.

2.4.14 (b) There are various plotting techniques to reduce the impact of garages.

2.5 NON-RESIDENTIAL SITE PLANNING STANDARDS AND GUIDELINES

The non-residential land use designation provides for certain commercial, office and personal services uses to be established in the Golden Triangle Village. Specific permitted uses are outlined in Table 2-3, Permitted and Conditional Uses. These uses will serve the adjoining residential uses in the Golden Triangle Village, as well as the needs of the greater Spanish Springs Valley. This section addresses site planning development standards and guidelines for all permitted non-residential uses.

2.5.1 Non-Residential Setbacks and Density Requirements

Setbacks and Density requirements are outlined in Table 2-3, Non-Residential Setbacks and Density Requirements.

2.5.2 Non-Residential Setbacks and Density/Intensity Requirements

TABLE 2-3: Non-Residential Setbacks and Density Requirements

TYPE	Non-Residential
DESCRIPTION	This land use designation allows certain retail, commercial, office and personal services establishments. Mini-warehouses are included in this land use designation.
BUILDING INTENSITY	
Lot size	6,000 square feet minimum
Building Height ¹	45 ft. maximum ^{3,5}
Building Separation ¹	10 feet
LANDSCAPING	
Landscape Requirement	Min. 15% of Site Area ¹
BUILDING SETBACKS FROM PROPERTY LINE⁵	
Vista Boulevard	20 feet
Front/Exterior Side	10 feet
Side	10 feet
Rear	10 feet
Property Line ⁴	10 feet.
BUILDING PROJECTIONS	See item 2 & 3 below
<p>1 – Definitions:</p> <ul style="list-style-type: none"> a) Building Height – is the vertical distance from the average level of the highest and lowest points of that portion of the lot covered by the building to the average height of the highest gable of a pitched or hipped roof. b) Building Separation - is the distance between two habitable structures measured from the foundations. c) Site Area - is a parcel or combination of parcels or lots which share a common development plan or which are dependent upon one another for access, parking or utilities. <p>2 – Cornices, overhangs and eaves up to a maximum of 10 square feet, may extend not more than two (2) feet into any required, side or rear setback. Decks, balconies and landings above the ground floor elevation of a building, exterior stairways, and portions of uncovered decks or porches may extend not more than two (2) feet into any required front, side or rear setback.</p> <p>3 – Building projections such as towers, gables, spires, cupolas, and like structures, may extend five (5) feet above the allowed maximum building height. All mechanical equipment must be screened from view at the street level and the parking lot. Projections, including awnings and decorative features, must have an eight (8) foot high clearance above pedestrian walkways. If abutting any single family attached or detached development the setback shall be the building height times 1 foot.</p> <p>4 – The property line is defined as the perimeter boundary (right-of-way or exterior property line) of the commercial developer's property.</p> <p>5 – Building height may be exceeded with approval of a Conditional Use Permit.</p>	

2.5.3 Non-Residential Building Orientation

- a) Building placement and orientation shall be designed to create visual interest along public right-of-ways. Multiple buildings in a single project shall demonstrate a positive functional relationship to one another.
- b) Buildings located within a single project shall be clustered, where practical. Plazas and pedestrian areas shall also be an important element in the design of clustered buildings. When clustering is impractical, a visual link should be established between buildings through the use of an arcade system, trellis, colonnade or other open structure.
- c) Plazas or common areas within a project shall be located near building entrances or areas of high pedestrian traffic to ensure their use
- d) The space between buildings shall be used as outdoor seating areas or courtyard space, where appropriate. These spaces shall have usable shapes that are not simply left over areas between buildings. This standard does not require that all spaces between buildings be designed as outdoor seating.



2.5.3 (b) Varied building placement and clusters add to the attractiveness of non-residential projects.



2.5.3 (c) Mini-plazas in commercial areas include pedestrian-friendly amenities such as fountains, arcades, and ample sittable space.

2.5.4 Non-Residential Grading

- a) The design of building sites shall be sensitive to the natural terrain, and structures should be located to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Site grading shall be designed to complement the architectural and landscape design character of the community, screen parking and service areas, reduce the perception of height and mass on larger buildings, and provide reasonable transitions between on-site uses.
- c) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with Section 20.04.011, Slopes, Hillside & Ridges of the City of Sparks Zoning Code.
- d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.



2.5.3 (d) Landscaped common areas within business parks soften the visual impact of large structures and provide workers with comfortable gathering places.

- e) Finished grades at individual parcel boundaries shall meet existing grade within the landscaped area or a slope easement shall be created on the adjoining undeveloped property to be matched when that site develops.
- f) All graded slopes shall be re-vegetated prior to building occupancy. Vegetated slopes shall not exceed an average of 2:1 slope and turf areas shall not exceed an average 4:1 slope. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for re-vegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- g) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- h) The developer shall submit an erosion control plan with each grading plan.

2.5.5 Non-Residential Parking

General parking requirements, exceptions and the minimum number of spaces and geometrics required shall comply with the Sparks Zoning Code as specified in Chapter 20.04.009 Parking and Loading.

2.5.6 Non-Residential Parking Lots and Parking Lot Entry Drives

The goal of the following standards and guidelines are to include landscaping in parking lots and provide landscaping and pedestrian access along entry drives.

- a) Parking lot design, configuration and sizes of parking stalls and aisles shall comply with Chapter 20.04.009 of the Sparks Zoning Code.
- b) The main project entry shall be treated with special landscape elements that will provide an individual identity to the project (i.e. special paving, graphic sign, water feature, specialty lighting, specimen trees and flowering plants or public artwork).
- c) The main entry access drive shall include a minimum 10 foot wide (exclusive of curbs) landscaped median and landscape islands a minimum of 10 feet on each side of the drive including a 4 foot wide sidewalk. At least one tree shall be planted in the landscape strips for each 30 feet of linear frontage.
- d) Parking area landscaping is in addition to other required landscaping. The parking area is subject to the following minimum standards:
 1. Each planter island containing a tree shall have at least 288 square feet for double loaded parking and 144 square feet



2.5.6 (d) Planters screen the visual impact of parked cars.



2.5.6 (d) Tree islands and raised landscaped beds soften the visual impact of surface parking and provide shade.

for single loaded parking with an eight foot minimum interior width protected by a six inch curb.

2. At least 1 shade tree shall be planted for each 7 parking spaces for parking lots under 125 spaces in size. For those over 125 spaces, at least one shade tree shall be planted for each 10 parking spaces.
3. All areas used for landscaping shall be surrounded by curbing at least 6 inches in height and 4 inches in width, and shall be constructed of reinforced concrete.

- e) Parking lots shall be regularly cleaned of trash, dirt, snow and other objects that interfere with the movement vehicles and pedestrians within parking lots. Maintenance including sweeping and snow removal shall occur between the hours of 6:00 am and 10:00 pm.

2.5.7 Non-Residential Landscaping

The landscape design concepts and plant materials incorporated shall be consistent in form, texture and color with the overall architectural theme of each project.

Landscaping within the Golden Triangle Village shall comply with the regulations governing landscaping contained within Chapter 20.04.006 of the Sparks Zoning Code.

- a) For the purposes of this handbook, permitted commercial projects as outlined in Table 2-1: Permitted and Conditional Uses shall be subject to the requirements outlined for C2 Commercial zoning
- b) All areas not utilized for parking, buildings, plazas, or access/circulation shall be landscaped to the back of curb. Disturbed areas around the perimeter of the site where steeper slopes occur may be re-vegetated with a native seed blend. Open space areas shall remain natural.
- c) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
- d) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.
- e) Landscape buffers, 10 feet in width shall be required between residential and non-residential uses. At least one evergreen tree shall be planted 30 feet on center in the buffer areas. Trees, may be clustered for a more natural appearance to the approval for the Administrator.

2.5.8 Non-Residential Lighting

- a) Lighting within Golden Triangle Village shall comply with the regulations governing lighting contained within Section 20.04.007 of the Sparks Zoning Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited.

- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) A master lighting program for each commercial project area (center) shall be submitted to the City of Sparks for review. The style of light poles and fixtures within each commercial project area shall be consistent. Lights, including street lights, may consist of standard fixtures or decorative designs approved by NV Energy and the City of Sparks Administrator.
- e) Lighting fixtures shall differentiate use areas and emphasize community amenities, such as plazas, walkways and project entries.
- f) When locating parking lot, walkway and area lighting, safety shall be of concern. Lighting shall be located in areas that provide a safe and pleasant environment for pedestrians.
- g) Parking lot, walkway and area lighting heights shall be reflective of the architecture of the project and be in scale with the setting (see example to right).
- h) The use of bollard lighting is encouraged in pedestrian areas.
- i) Overall lighting levels shall be compatible with surrounding neighborhood ambient levels and color shall be uniform throughout the development. Soft, indirect lighting shall be employed where feasible.
- j) Exterior lighting shall be used for purposes of illumination and safety only, and shall not be designed for, or used as, an advertising display.
- k) Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the facade. The purpose of illuminating the building shall be to add visual interest and supply building identification. Any direct projection of light (not ambient light) beyond the property line is prohibited.
- l) Support structures for lighting shall be designed as part of the general theme of the building architecture.
- m) Minimal energy consumption shall be a factor in lighting type selection.



2.5.8 (i)(j)(k) Architectural lighting example provides attractive but not overbearing night lighting.

2.5.9 Non-Residential Signs

Careful use of forms, styles, materials, and colors will establish signage continuity throughout the commercial portions of the Golden Triangle Village project.

- a) Signage within the Golden Triangle Village shall comply with the regulations governing signs contained within Chapter 20.040.010 of the Sparks Zoning Code. For the purposes of this handbook, permitted commercial projects shall be subject to the requirements outlined for C2 Commercial zoning.
- b) All commercial signage and tenant identification signs shall be consistently located and integrated into the architectural design of the building entry. Storefront signs shall be proportional with the building architecture per Chapter 20.040.010 of the Sparks Zoning Code.

2.5.10 Non-Residential Walls and Fences

Walls and fences shall be utilized to provide a buffer and screening between different land uses. It is important, however, that walls and fences are appropriately integrated into each project.

- a) Walls and fences within the Golden Triangle Village shall comply with the following standards as well as the regulations contained within Sections 20.04.004 of the Sparks Zoning Code.
- b) Solid walls shall be used to screen service, loading, trash and/or utility areas from adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent residential uses.
- c) Walls and fences may be up to six feet in height and may be located in around the perimeter of the project area.
- d) Fencing may include open view or solid designs. Materials may include: metal, wrought iron, wood (including synthetic products) or masonry. Solid walls may be slump, split face or standard integral colored or stamped masonry (prefabricated) units.
- e) Walls shall be decorative using materials and colors to complement the architectural design of the adjacent buildings/development theme as approved by the City of Sparks Administrator.
- f) Solid walls, if used adjacent to Vista Boulevard shall incorporate at least two of the following every 50 linear feet. If not adjacent to Vista Boulevard at least one item shall be incorporated:
 - a. At least a two-foot change in plane for at least 10 feet;
 - b. At least 18-inch raised planters for at least 10 feet;
 - c. Use of a pilaster at 75-foot intervals, on property corners or at changes in wall planes or;
 - d. A section of open metal fencing at least 4 feet in height for at least 10 feet.
- e) A complementary color band or different texture material.



2.5.10 (e) Walls using decorative materials and caps provide an attractive element to a project



2.5.10 (f) Solid walls incorporating pilasters and landscaping break up the monotony of a large expansive wall.

- g) Rockery walls used for slope stability shall be a maximum height of six feet. Benches, 5 feet in width, are required between multiple sets of walls.
- h) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the City of Sparks.
- i) Chain link may be used during construction on a temporary basis at construction sites.

2.5.11 Non-Residential Service, Trash and Utility Areas

Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash collection, trash compaction, and other service functions can create visual and noise impacts on surrounding uses.

- a) Trash enclosure shall allow convenient access from each tenant.

- b) Trash enclosures shall be constructed to be architecturally compatible with each project and the gates shall screen 80% of the trash receptacle area. All trash enclosures shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). The gates shall be constructed of durable material that screens the trash enclosure. Wood and chain link gates are not allowed.



2.5.11 (b) Screening of refuse containers and utilities is an inexpensive way to maintain the attractiveness of shared open space.

- c) Building service, maintenance and storage areas shall be located on the interior of the site, where feasible and screened from adjacent public right-of-ways, pedestrian plazas or adjacent residential uses with landscaping, berms, walls or plantings.
- d) To the extent possible, loading areas shall be located in the rear of buildings and visually screened from adjacent residential uses with landscaping and/or screening walls as appropriate.
- e) Truck maneuvering/circulation areas adjacent to residential projects shall be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces.
- f) Switch boxes, transformers, electrical and gas meters, including ground mounted air conditioning units and other above ground or building mounted utility elements shall be screened or located out of view from public roads, driveways and common public areas, such as exterior entrances.
- g) All roof-mounted equipment shall be screened by a parapet from adjacent properties, public rights-of way, and driveways/common areas within each project. The screening elements shall be designed to be integrated part of the building architecture.

2.5.12 Drive-thru Facilities

The following standards and guidelines for drive-thru facilities are intended to promote safe and efficient circulation, avoid site conflicts/functional problems, provide clearly identifiable circulation routes and provide for adequate vehicle stacking. Drive-thru facilities include drive-in banks and savings and loan institutions, automated teller machines (ATM), fast-food restaurants, coffee shops, car washes, and drive-thru drug stores, and such.

- a) Stacking lanes for drive-through food service windows shall accommodate a stacking for 160 feet. Stacking measurement shall begin from the food service window.
- b) Non-food service windows shall accommodate stacking for at least 80 feet.
- c) Drive-through businesses shall be visually screened and shall be situated so as to not block any other drive aisle or parking space.
 1. Screening shall be a minimum of 4 feet in height.
 2. Impacts to surrounding residential projects such as noise from a voice box, idling vehicles, headlight and visibility of the business operation shall be mitigated to the approval the City of Sparks Administrator.

2.5.13 Mini-warehouses

The following standards apply to mini-warehouse projects and are intended to ensure compatibility between other permitted uses in the Golden Triangle Village project area.

1. No more than one caretaker or guard residence shall be provided. No other residence is allowed.
2. No business shall be conducted from or within a mini-warehouse unit. Retail or auction sale of stored items is prohibited. This prohibition does not apply to auction sale of abandoned items by the owner of the mini-warehouse business, as allowed by Nevada state law.
3. Vehicle repair is prohibited within mini-warehouse units and on the premises.
4. Production, fabrication or assembly of products is prohibited.
5. Painting, the use of power tools and the use of welding equipment or similar is prohibited within mini-warehouse units, except for repair or maintenance to the unit by an employee of the mini-warehouse business.
6. Storage units shall not be used as a musical practice or recording space.
7. Mini-warehouses may include outdoor parking of vehicles including trailers and recreational vehicles. Parking areas must be within the mini-warehouse facility and behind screening walls.



Examples of visually interesting mini-warehouse project.

2.5.14 Non-Residential Architectural Theme

The architecture of non-residential project shall be visually interesting in style and provide a strong design statement, as well as a sense of identity for each project.



2.5.14 and 2.5.15 (b)(c) Visually interesting designs with articulation on walls provide successful, attractive projects.

2.5.15 Non-Residential Building Mass and Form

a) Individual buildings within a development shall be evaluated separately, however, multiple buildings in a single project must demonstrate a functional relationship. Buildings design shall create opportunities for plazas and pedestrian areas. Texture, material and patterns shall be utilized to promote aesthetic consistency between buildings. This should be accomplished through the use of arcades, trellis, colonnades, building materials, massing, form, texture, material, patterns or other open structures.

b) Blank building walls shall not be allowed. Facades shall be articulated and exterior walls shall be aesthetically consistent around the entire building.

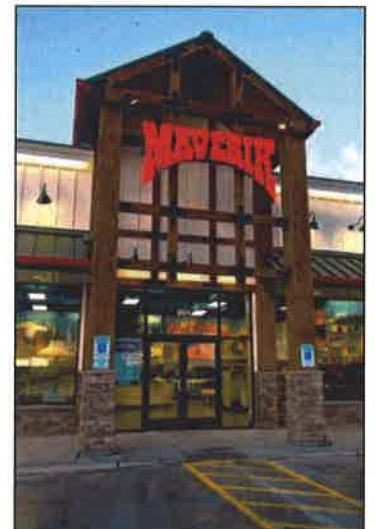


2.5.15 (a) Clustered buildings with architectural consistency set the tone for an attractive commercial project.

c) Articulation shall be horizontal, diagonal and vertical on walls.

d) There shall be no long expanse of flat wall planes, vertically exceeding 20 feet or horizontally exceeding 30 feet. Examples of methods of articulation include:

- 1) use of cornices
- 2) use of awnings
- 3) staggered parapets
- 4) horizontal or vertical wall offsets (a minimum of 6 inches)
- 5) deeply recessed windows
- 6) extended windows
- 7) covered arcades
- 8) use of color
- 9) material/texture changes
- 10) accent medallions
- 11) wainscot
- 12) a mix of building materials



2.5.15 (d) Façade detailing, pedestrian-scale arcades and trellises create an attractive environment for shoppers.

e) The presence of smaller retail stores gives a commercial center a “friendlier” appearance by creating variety, breaking up large expanses, and expanding the range of activities. Windows and window displays of such stores shall be used to contribute to the visual interest of exterior facades.

2.5.16 Non-Residential Building Entryways

- a) Each principal building on a site shall have highly visible customer entrances featuring at least three (3) of the following. Elements below may be successfully integrated into the building structure and design:
- canopies, porticos, trellis elements, or awnings
 - unique roof expressions including overhangs and varied roof forms
 - innovative use of exposed structural elements
 - recesses/projections (minimum 2 feet) for front elevations and 6 inches for side and rear elevations
 - arcades
 - raised and corniced building forms with parapets above the door
 - peaked roof forms elements
 - arches
 - outdoor patios
 - display windows
 - architectural details such as tile stone or brick work, molding, and trim work
 - integral planters or wing walls that incorporate landscaped areas and/or places for sitting
 - architecturally compatible lighting fixtures.
- b) Where additional tenants will be located in the principal building, each such tenant shall have at least one exterior customer entrance.
- c) Entryways shall be designed to avoid conflict between swing out doors and the pedestrian flow within walkways or the public right of way.
- d) Color, signage, material accents, and/or awnings should be used to highlight entryways.



2.5.15 (e) Smaller retail stores break up the visual monotony of larger stores.



2.5.16 (a) Building signage and roof changes add to the character of the building entrances located between the two roof peaks.



2.5.16 (a)(c) Roof variations and covered entries provide interest and protection from the elements for customers.

2.5.17 Non-Residential Roof Form

- a) Variations in rooflines shall be used to add interest to, and reduce the scale of larger buildings.
- b) The visible roof profile line shall not continuously run more than 75 feet. Methods to change the roof profile include horizontal and vertical off-sets (a minimum of 6 inches), jogging and varying parapets, roof over hangs or similar design elements.
- c) All rooftop equipment shall be screened from public view at street level matching the architectural style and materials of the main building.
- d) Roof drains, leaders and downspouts shall be integrated into the exterior design of the structure.
- e) Roofs may include pitched, mansard, gabel end, hipped, sloped or flat roof designs.
- f) For flat roofs, all parapet walls on main building fronts shall be finished with a cornice molding. The cornice design may vary, but must be complementary to the overall development. All cornice details shall be scaled appropriate to the height and size of the wall. Horizontal parapet changes in elevation (minimum 1 ½ feet in height) shall be provided on all building sides extending more than 50 feet in length.
- g) Canopies, porte-cocheres, and other open air covered features may have flat roofs. Materials and colors must be consistent with the main building. Open covered features over 100 feet in length shall include at least one vertical feature (a minimum 2 feet in height) that may include signage.



2.5.17 (a) Exposed rafter ends, overhanging eaves, multiple roof planes and varied fenestration create interesting commercial buildings.



2.5.17 (e) Varied roof designs add to the interest of projects such as this mini-warehouse development.



2.5.17 (g) Canopies consistent in material and color with the main building are important.

2.5.18 Non-Residential Materials and Colors

- a) Buildings shall be evaluated as individual components essential to the overall design of the center. Materials and colors of a building will be compatible with those of adjoining buildings. Each material and color will become part of a design palette, which will ultimately strengthen and communicate this theme to the public.
- b) Predominant exterior building materials shall be of high quality. These may include, but are not limited to two (2) of the following:
- brick
 - stained, painted, or weathered wood/cementitious products such as heavy timbers or stock lumber
 - stone veneer/cultured stone/ other native stone
 - stucco or dryvit
 - integral color split face or rough cut concrete masonry units
- c) Building color can dramatically affect the appearance of buildings and should be used to affect the scale and proportion of a building by highlighting architectural elements such as doors, windows, fascia, cornices, lintels and sills.
1. Large areas (no more than 25% of one exterior side) of intense colors are prohibited.
 2. Bright or intense colors shall be used for building trims and accents only.
 3. Color shall be utilized on all sides of the building.
 - tinted, textured stucco or dryvit
 - metal such as corrugated, battened or standing panelized systems; preformed painted or stained metal shapes
 - fabric or metal awnings
 - dimensioned asphalt or simulated wood shingles
 - slate or simulated slate roof
 - tilt-up concrete with wood texture, or other facade treatment as required by the DRC or the City of Sparks.
- d) The following exterior building materials are not permitted as a primary building material
- asphalt shingles (architectural grade asphalt shingles, however are permitted on roofs)
 - reflective metal (colored or patina metal, however, is permitted)
 - corrugated fiberglass or plastic
 - unprotected wood



2.5.18 (b) Natural looking materials such as wood add authenticity to buildings



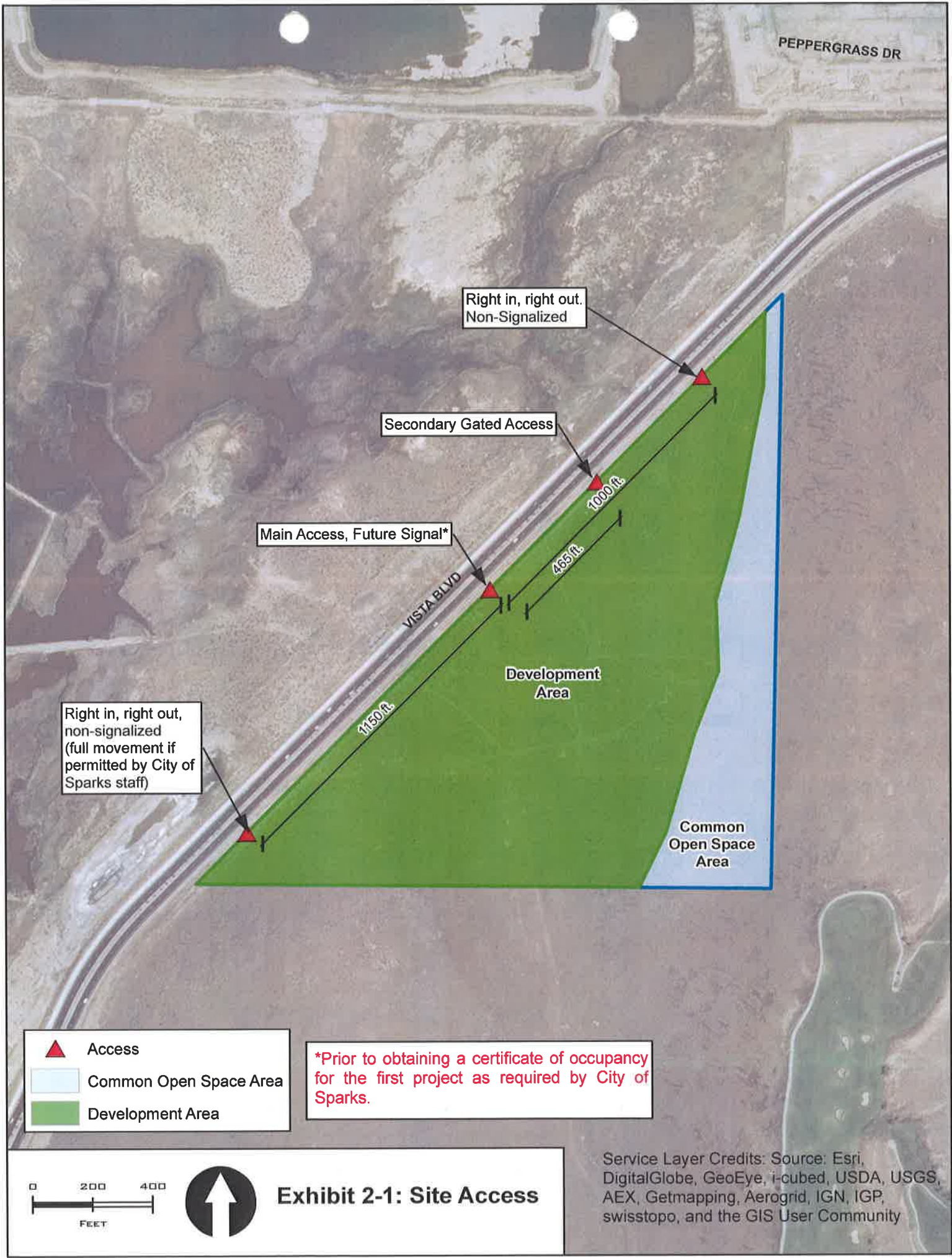
2.5.18 (b)(c) A mix of building materials and placement of exterior materials add character and interest to projects.

2.6 ACCESS AND MAIN ENTRANCE DEVELOPMENT STANDARDS

This section addresses site access from Vista Boulevard and provides development requirements for vehicular and pedestrian access and circulation, as well as adjacent landscaping.

2.6.1 Site Access

Vista Boulevard, a major arterial, borders the entire 2,780± foot frontage of the site on the north. Adjacent to the site Vista is developed with two lanes in each direction separated by a median. There are bike lanes on each side of the street and a sidewalk on the north side. Site access to the Golden Triangle Village is planned at four locations along Vista Boulevard. The westernmost location is anticipated to be a non-signalized right in/right out or full movement only if permitted by the City of Sparks staff, access point and will be located 1,150± feet from the main access point to the Golden Triangle Village development. The main access point is planned to be a full movement access and will be signalized prior to obtaining a certificate of occupancy for the first project as required by the City of Sparks. A gated emergency access point is planned approximately 465± feet to the east of the main access. Finally, another right in/right access point is planned at the easternmost edge of the property, approximately 1,000± feet east of the main access. Refer to Exhibit 2-1, Site Access. With each project, updated traffic studies will be provided if required by the City of Sparks. Exact access locations may vary depending on site specific conditions relevant to the individual development parcels. Traffic information and final access points in general conformance the Exhibit 2-1, Site Access shall be reviewed and approved by the City of Sparks during the Administrative Review, Tentative Map or Conditional Use Permit process as outlined in Chapter 1, Section 1.4 Individual Project Approval Process of this Handbook.



PEPPERGRASS DR

Right in, right out.
Non-Signalized

Secondary Gated Access

Main Access, Future Signal*

Right in, right out,
non-signalized
(full movement if
permitted by City of
Sparks staff)

VISTA BLVD




Development
Area

Common
Open Space
Area

1150 ft.

465 ft.

1000 ft.

-  Access
-  Common Open Space Area
-  Development Area

**Prior to obtaining a certificate of occupancy for the first project as required by City of Sparks.*

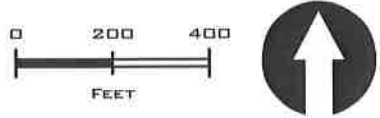


Exhibit 2-1: Site Access

Service Layer Credits: Source: Esri, DigitalGlobe, GeoEye, i-cubed, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

2.6.2 Vista Boulevard Setbacks and Landscaping

As noted in Table 2-2: Residential Setbacks and Density Requirements and Table 2-3: Non-Residential Setbacks and Density Requirements, all buildings must be setback a minimum of 20 feet from Vista Boulevard. The setback area must be landscaped by the developer with a minimum of 1 tree per 30 feet of street frontage. Trees shall be grouped to provide a more natural appearance. In addition, six shrubs provided for every required tree.

Shrubs provided as a mix of 70% shrubs and 30% living ground cover. Landscaping along Vista Boulevard shall be installed with each adjacent project by the developer of each project. Landscaping shall not be located within the right-of-way. All landscaping located on private property shall be maintained by the developer, a Landscape Maintenance Association, a Homeowner's Association or a Property Owner's Association as applicable.

2.6.3 Main Access Entrance

The main access entrance in the Golden Triangle Village is anticipated to be signaled prior to obtaining a certificate of occupancy for the first project as required by the City of Sparks. This entry shall be treated with special landscape elements that will provide an individual identity to the project (i.e. special paving, graphic sign, water feature, specialty lighting, specimen trees and flowering plants or public artwork). The access drive shall include a minimum 5 foot wide (exclusive of curbs) landscaped median and landscape islands a minimum of 10 feet on each side of the drive including a 4 foot wide sidewalk. The median, landscape strips and sidewalks shall extend to the entrances to the individual projects in Development Zones 2 and 3 as identified in Exhibit 1-5, Development Zones. At least one tree shall be planted in the landscape strips for each 30 feet of frontage. Landscape strips shall also include low level plantings and ground cover. Six shrubs provided for every required tree. Shrubs provided as a mix of 70% shrubs and 30% living ground cover. Additionally, landscape located on private property shall be maintained by the developer, a Landscape Maintenance Association, a Homeowner's Association or a Property Owner's Association as applicable.

2.6.4 On-Site Vehicular Circulation

On-site circulation for each individual project may include either public or private streets and will be reviewed and approved by the City of Sparks during the Administrative Review, Tentative Map or Conditional Use Permit process as outlined in Chapter 1, Section 1.5 Individual Project Approval Process of this Handbook. On-site vehicular access shall meet all City of Sparks requirements for roadway width and emergency access.

2.6.5 Pedestrian Access

There are no sidewalks or pathways on the south side of Vista Boulevard east or west of the project site. Pathways, however, exist on the north side of Vista Boulevard. With this project, pedestrian access is anticipated to connect to pathways on the north side of Vista through crosswalks at the planned signal at the main project entrance when signal warrants are met or as required by the City of Sparks. Sidewalks will extend along the main entry drive to the entrances to the individual projects in Development Zones 2 and 3 as identified in Exhibit 1-5, Development Zones. Each individual project shall provide a plan to connect to pedestrian access points throughout the Golden Triangle Village project site. Pedestrian access and connections (4 foot minimum sidewalk widths) shall be reviewed and approved by the City of Sparks during the Administrative Review,

Tentative Map or Conditional Use Permit process as outlined in Chapter 1, Section 1.5 Individual Project Approval Process of this Handbook.

2.7 COMMON OPEN SPACE STANDARDS

This section addresses standards for the common open space area.

2.7.1 Common Open Space Minimum

A minimum of 20% of the project site shall be provided in Common Open Space. This equates to 8.76± acres. Common Open space in accordance with this requirement will be met through the designation of the Common Open Space Area shown on Exhibit 1-5, Golden Triangle Village Development Areas.

2.7.2 Development Limitations

To the extent practical, common open space shall remain natural and undeveloped. At least 1.88± acres of the 8.76± acre area must remain undisturbed. If grading and/or walls are necessary in the common open space area to accommodate adjacent development in the Development Areas, re-vegetation with native vegetation to the satisfaction of the City of Sparks Administrator will be required. Other improvements in the common open space shall be limited to pedestrian trails and associated amenities. Any pedestrian trails shall connect to other pedestrian access points or sidewalks in the Golden Triangle Village project area.

2.7.3 Maintenance

Common open space shall be maintained by the developer, a Landscape Maintenance Association, a Homeowner's Association or a Property Owner's Association as applicable.