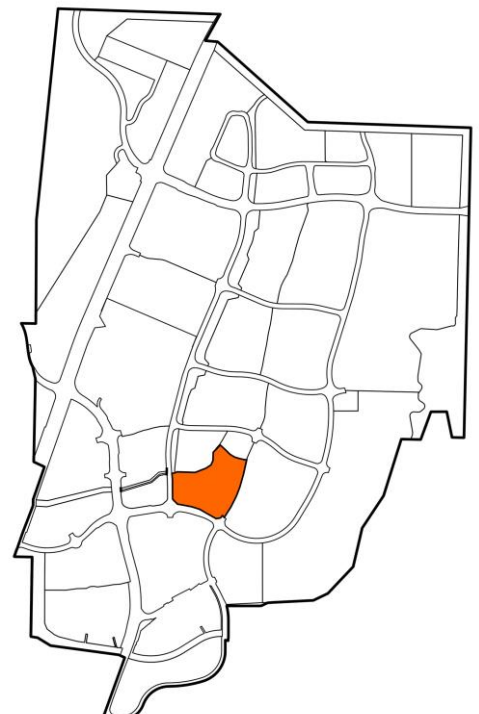


Kiley Ranch North Phase Two Final Development Handbook

Prepared for:
City of Sparks, Nevada
431 Prater Way
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November 2013

City of Sparks, Nevada



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1 INTRODUCTION AND IMPLEMENTATION

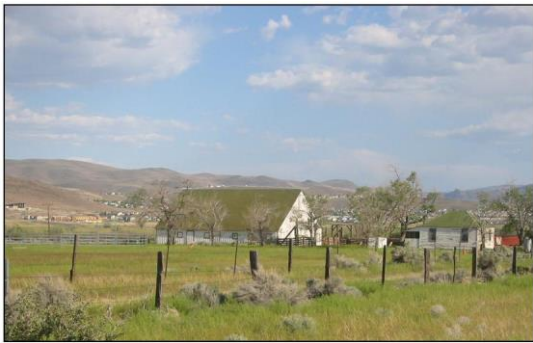
1.1 PURPOSE

The purpose of this Development Handbook is to provide for the orderly development of Kiley Ranch North as envisioned, while assuring that the stated desired level of quality is achieved. Since implementation of public and private improvements will occur in multiple phases, over many years, the standards and guidelines contained herein establish a common framework to guide individual improvement plans. The development of the property is controlled and restricted by these development requirements as well as by all applicable government codes and regulations. The City of Sparks shall enforce all provisions and standards including the graphic and textual elements of this Development Handbook. This Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout Kiley Ranch North.

Improvement of public areas within Kiley Ranch North will be the responsibility of individual developers and/or the landowner unless assigned by agreement to other public or private parties. All improvements shall be designed consistent with these standards and guidelines. Maintenance of public areas within Kiley Ranch North, including streets, parks, community gateways and landscape buffers will be the responsibility of the Kiley Ranch Landscape Association, LLC, the adjacent property owner or the City of Sparks, unless assigned by agreement to other public or private parties. Specific responsibilities for the improvement and maintenance of these areas are further addressed in Chapters Two and Three of this Development Handbook.

The Kiley Ranch North mission is to create a thoughtfully planned community that contains a harmonious balance of residential, recreational, and economic uses and provides high quality design standards and amenities for a rich and satisfying life style.





Kiley Ranch North is ideally located and positioned to be a self-sufficient community providing a regional commercial, business and employment center in concert with the City of Sparks vision for Kiley Ranch.



The variety of land uses within Kiley Ranch North promotes a vibrant community that attracts residents, business and visitors alike.



Kiley Ranch North aims to increase the economic base of the City of Sparks by targeting business and industry to locate within the development.



Kiley Ranch North fosters community interaction and pride by providing places for recreation and people gathering.

1.2 Community Vision

Kiley Ranch North is planned to become an emerging regional commercial and employment business center, situated at a strategic location within the City of Sparks. The Vision for the project is to create a place that is identifiably unique and regionally serving, an intensely suburban core harmoniously balanced with community activity amenities, employment, housing, recreation, and commercial uses. From this Vision, four Guiding Principles have been established to guide the development, growth and design of Kiley Ranch North. Each principle serves as a foundation for the Vision that will create a desirable and successful community.

1. Efficient Land Use Patterns.
2. Economic Sustainability.
3. A Distinct Sense of Place with People Gathering Places Built-in and Walkability.
4. Neighborhood Diversity: A New Urbanism/Suburban Eclectic.

1.2.1 Efficient Land Use Pattern

The integration and concentration of a variety of land uses creates a village structure within the greater community. This mixture of uses at varying levels of compatible densities and intensities creates a synergy that attracts residents, businesses and visitors. It also supports walkability within the community to commercial, recreational, employment, and public activities. Additionally, it also minimizes the consumption of land associated with traditional suburban development by encouraging and creating a more compact development pattern that is efficient for infrastructure, public services and maintenance.

1.2.2 Economic Sustainability

Kiley Ranch North encourages a live-work community by providing the land uses to support a jobs/housing balance within the development and marketing its resources intelligently by drawing reputable corporations, new and expanding firms, and identifying “target” industries that seek a prominent, quality business center development. By providing diverse choices in housing, commercial activity and recreational amenities, the quality and character of the development creates a thriving, self-sustaining and attractive community accessible to a wide range of residents and employers. The goal is to provide a net positive fiscal impact to the City of Sparks.

1.2.3 Sense of Place, People Gathering Places and Walkability

Place-making is one of the key components in creating a vibrant and balanced community. A sense of place is fostered within Kiley Ranch North by creating human-scale environments in which the individual can feel both comfortable and safe.

The Kiley Ranch North Master Plan organizes movement by providing connectivity between various activity centers. Integration of people gathering places that contain aesthetically pleasing and attractive amenities help promote social interaction and walkability within the community

1.2.4 Neighborhood Diversity: A New Urbanism/Suburban Eclectic

Kiley Ranch North provides for neighborhood diversity by allowing innovative residential dwelling design to support specific human interests and niches of different lifestyle and life stages. The variety of land uses creates a wide-ranging palette of housing styles that encourage creativity through controlled flexibility. The densities of these neighborhoods support surrounding business and commercial centers while adding to the vitality of the community. Furthermore, this diversity breaks up the monotony of traditional residential development by reinforcing the dynamics of character and identity within each of the neighborhoods.

1.2.5 Implementing the Vision

The vision for Kiley Ranch North will be carried out through the guidance provided by these four overarching principles. Its visual identity will be further defined and coordinated by the streetscape and landscape themes described in this handbook. Innovative use of materials, methods of construction and site planning proposed herein will also ensure the quality and character of the community as it develops over time. This Development Handbook will be used by the City of Sparks as a guide for reviewing the projects within Kiley Ranch North Phase Two.



1.3 PROJECT DESCRIPTION

Kiley Ranch North is located within the Kiley Ranch in the Spanish Springs Valley (Refer to Exhibit 1-1, Regional Location Map). The conceptual master plan for the ranch property was approved by the City of Sparks and included in the adopted City of Sparks Sphere of Influence Plan (Refer to Exhibit 1-2, Northern Sparks Sphere of Influence Master Plan). The southern 743 acres of the ranch, known as the Southern Development Division, was annexed to the City of Sparks and is guided by a separate Development Design Handbook. The Southern Development Division of the ranch is comprised of multi-family, single family and commercial land uses.

The Northern Development Division, herein referred to as Kiley Ranch North, is comprised of approximately 834.5± acres, including portions of Pyramid Way, Sparks Boulevard and Highland Ranch Parkway, have previously been dedicated to the City of Sparks and NDOT. The remaining acres consist of a wide variety of uses including: commercial, office/business park, public/institutional, multi-family and single family residential, school/park, neighborhood park, and open space. The entire property will be zoned for agricultural (A-40) uses at the time of annexation and will require a zone change to New Urban District (NUD) as individual parcels are developed within Kiley Ranch North. The development will also provide a significant portion of the retail shopping needs for the regional area, including the City of Sparks to the south, Spanish Springs Valley and Palomino Valley to the north, and Sun Valley and Golden Valley to the west. The region to the west will have access to the project from Highland Ranch Parkway which connects Sun Valley Boulevard to Pyramid Way. Sparks Boulevard, which connects to Highland Ranch Parkway at Pyramid Way, provides circulation to the regions south and east of the project. To the north, Lazy Five Parkway provides a connection from Pyramid Way to areas northeast of the project.

Due to the project's significant regional location, it has a great opportunity to develop into a suburban core center for the northern Sparks area. The intensity of the project is maximized at the intersection of Sparks Boulevard and Pyramid Way and through the Pyramid Way corridor where most of the community's commercial and office/business park uses are located. This highly visible and well-traveled corridor is enhanced with the placement of a Village Center supported by an adjacent mix of quality high density residential apartments and townhomes. As the project develops toward the edges of the property, residential densities decrease, allowing compatibility with surrounding land uses. Kiley Ranch North will foster economic growth and excellence in development for the region, furthering innovation and creating great places to live, work and play.

EXHIBIT 1-1: REGIONAL LOCATION MAP

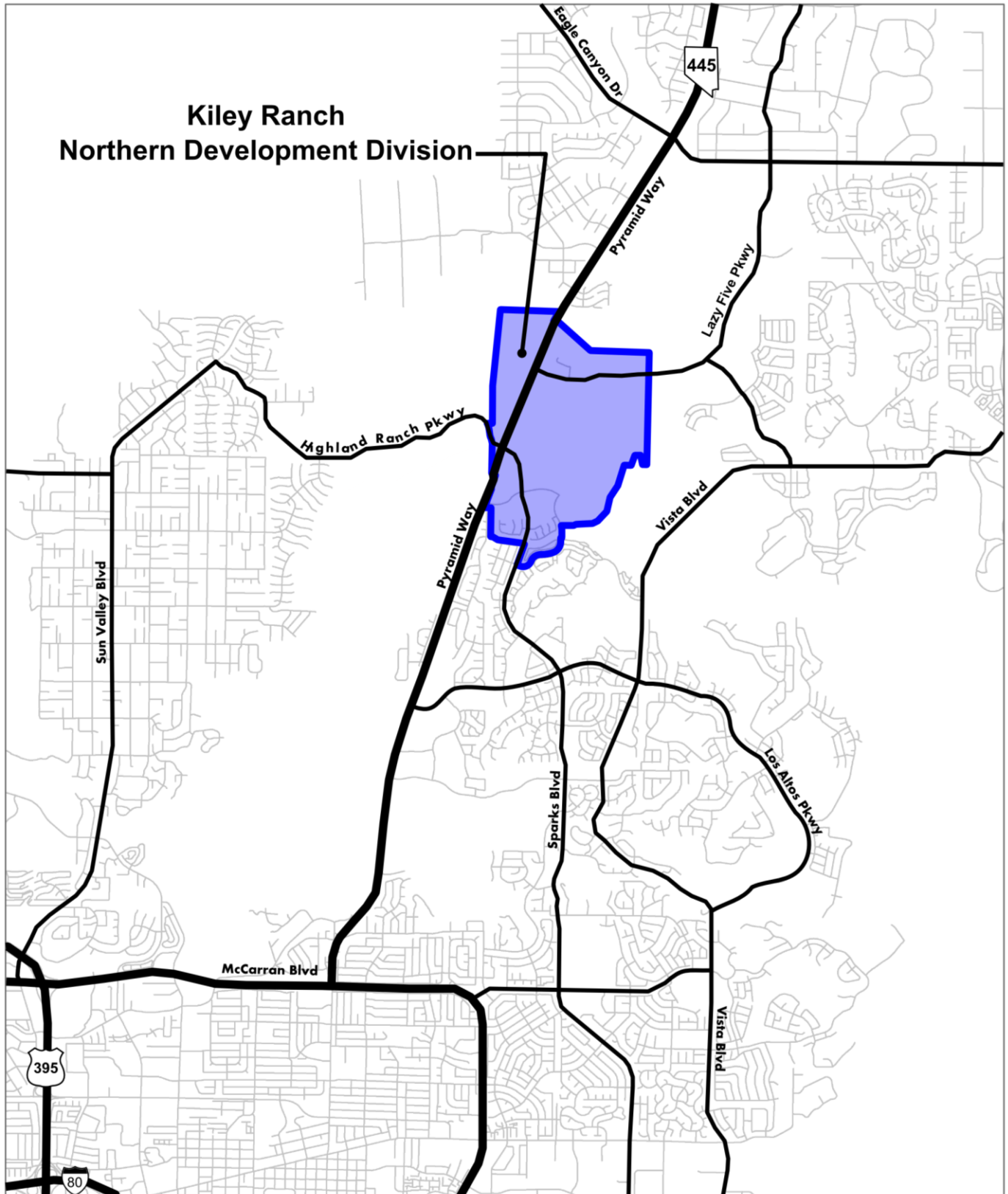
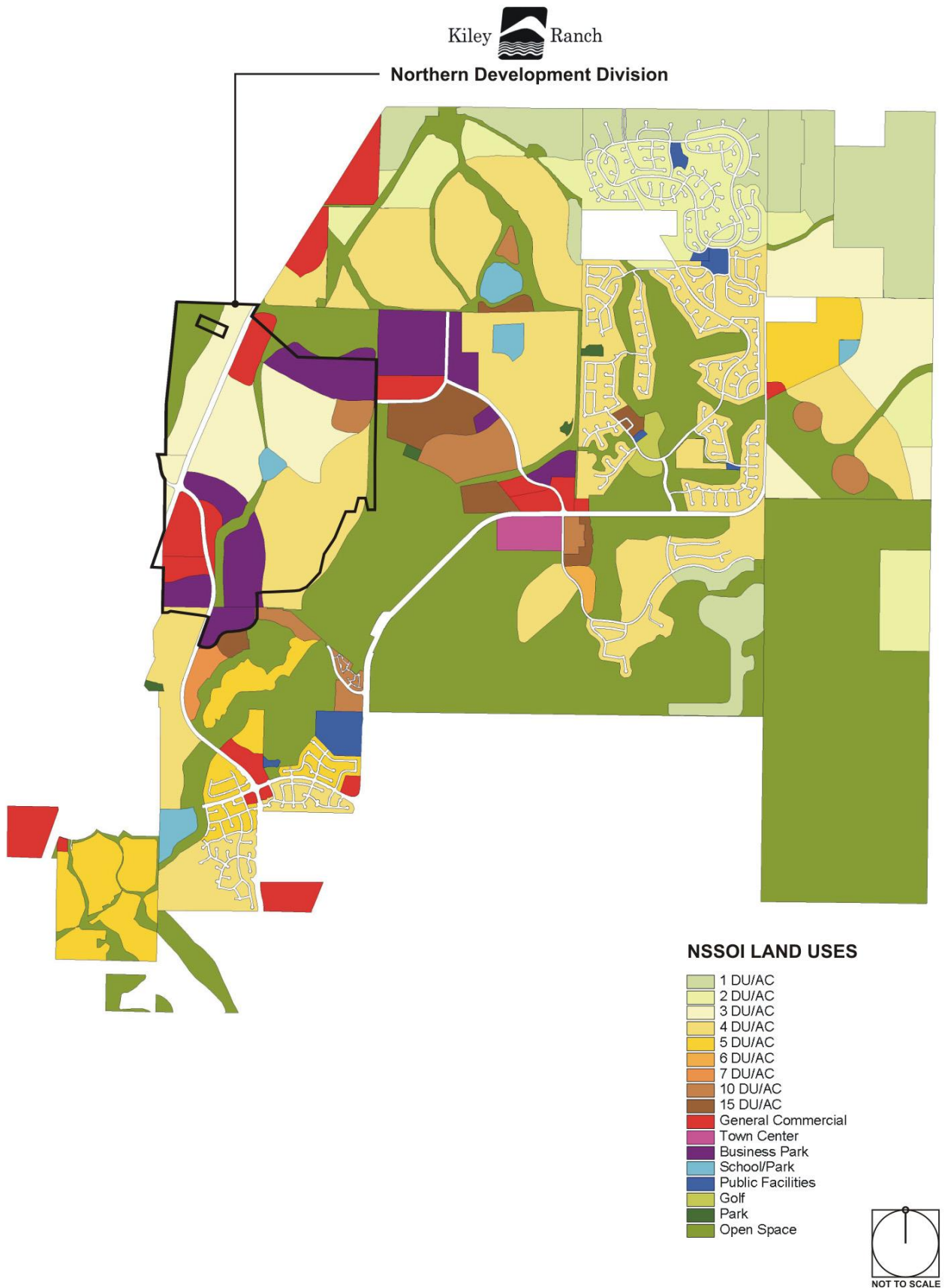


EXHIBIT 1-2: NORTHERN SPARKS SPHERE OF INFLUENCE MASTER PLAN



Kiley Ranch North is surrounded by open space, single-family residential communities and pockets of commercial and business park developments (Refer to Exhibit 1-3, Site Context). To the north, the Washoe County Parks Department operates a regional recreation facility and a library. On the west side of Pyramid Way near the northern edge of the property, a proposed low density residential planning area will be compatible with the adjacent residential development to the north and satisfies the Cooperative Planning Adjacency Standards of the Sparks Municipal Code. On the property's southern edge is the Kiley Ranch Southern Development Division which is currently under construction and will provide an edge of new residential development. East of the project is a proposed area set aside for wetland protection. Finally, on the western edge of the property are hillsides of open space that encompasses the Spanish Springs Valley. The proposed development near the western boundary of the project is restricted to land adjacent to Pyramid Way where the intensity of the corridor is complemented with arterial commercial uses and multi-family residential development.

Due to limited physical site constraints, Kiley Ranch North is favorable to development (Refer to Exhibit 1-3, Site Context). Portions of the project are within the east margin of the Hungry Range. This area has steep topography (10% slopes) and well-defined, incised channels. The eastern part of the project lies on the mid to lower portions of alluvial fans along the west side of Spanish Springs Valley. Channels are poorly defined with slopes mostly less than 3%. Runoff generally flows from west to east in the mountainous portion of the project, then from northwest to southeast after crossing Pyramid Way. It currently sheet flows into the existing jurisdictional wetlands and the City of Sparks flood detention area on the eastern edge of the plan area. The south portion of the site currently sheet flows north to south into the Sun Valley Diversion Channel. The Federal Emergency Management Agency (FEMA) has designated the project area as Zone X (outside the 500-year flood plain).

1.3.1 Kiley Ranch North Master Plan

The Kiley Ranch North Master Plan introduces an intense and diversified mix of land uses within the Northern Sparks Sphere of Influence (Refer to Exhibit 1-4 A&B, Kiley Ranch North Master Plan). Of the property's 834.52± acres, approximately 37 percent of the project is dedicated for residential development, 34 percent for commercial and business park uses and 15 percent for open space (plus additional 7 percent in formally landscaped areas within non-residential development areas), 3 percent for public facilities and 11 percent for roadways. The table on page 1-9 summarizes the project's land use components.

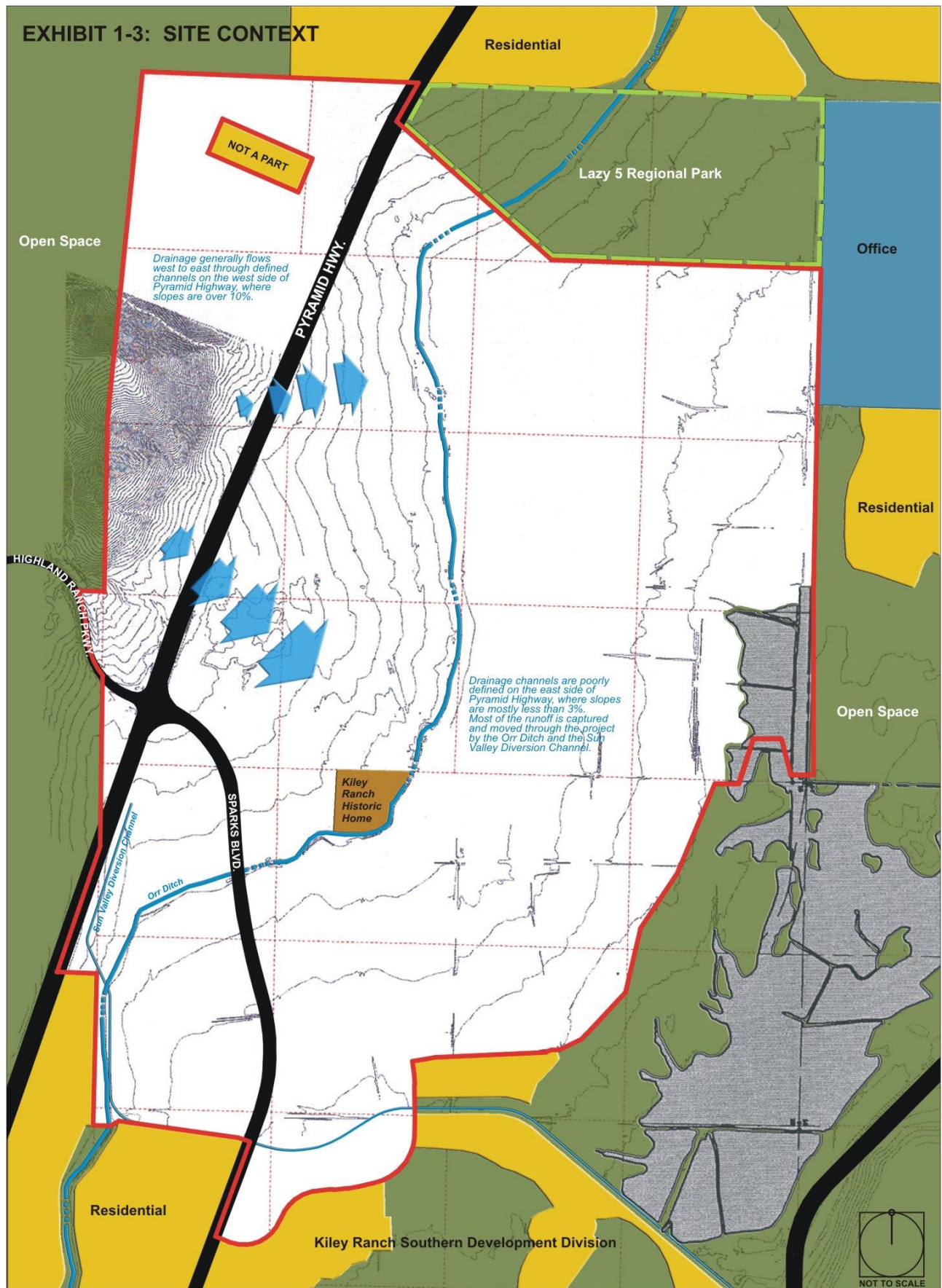


Table 1-1: Master Plan Land Use Summary

Land Use Designation			Gross Acres	Max. Density/FAR	Permitted Total Units	Approx. Allowable Sq. Ft.	Req. Open Space	Open Space Provided
RESIDENTIAL								
Low-Medium	5.0-7.9 du/acre	LMR	160.48	7.9 du/acre	1,268	-	-	-
Medium	6.0-11.9 su/acre	MR	58.03	11.9 du/acre	691	-	-	-
Medium-High	12.0-17.9 du/acre	MHR	31.95	19.7 du/acre	629	-	-	-
High	15.0-23.9 du/acre	HR	42.89	23.9 du/acre	1,025	-	-	-
Mixed Use Residential	5.0-23.9 du/acre	MUR	12.02	23.9 du/acre	288			
Total Residential			305.37	-	3,901⁽¹⁾	-	-	-
NON-RESIDENTIAL								
COMMERCIAL								
Arterial Commercial	AC		33.17	0.4	-	577,954	15%	5.0
Community Commercial	CC		98.39	0.3 ⁽²⁾	-	2,236,091 ⁽²⁾	15%	14.8
Village Center	VC		27.8	0.9	82	1,089,871	20%	5.6
Subtotal Commercial			159.36		-	3,903,916		25.4
OFFICE/BUSINESS PARK								
Business Park	BP		67.11	0.6	-	1,753,987	20%	13.4
Office/Business Park	OBP		59.44	0.6	-	1,553,524	20%	11.9
Subtotal Office/Business Park			126.55	-	-	3,307,511		25.3
PUBLIC FACILITIES								
Public/Institutional	PI		2.23	0.4	-	38,856	25%	.56
School	S		22.73	0.3	-	297,036	20%	4.5
Subtotal Public Facilities			24.96	-	-	335,892		5.06
OPEN SPACE								
Neighborhood Parks	NP		7.77	-	-	-	-	7.77
Open Space	OS		117.32	-	-	-	-	117.32
Subtotal Open Space			125.09⁽⁴⁾	-	-	-	-	125.09
Total Non-Residential			435.96	-	-	7,547,319	-	55.76⁽⁴⁾
Roadways ⁽³⁾			93.19	-	-	-	-	-
PROJECT TOTALS			834.52		3,983⁽¹⁾	7,547,319	166.90⁽⁴⁾	180.85

Notes:

1. The total number of residential units permitted by the Kiley Ranch North Tentative Handbook is 4,463. Densities for residential land uses may be adjusted to increase the number of residential units identified in the table above, but shall not exceed 4,463.
2. The maximum floor area ratio for the medical campus use in the community commercial land use category shall be 0.85, providing an over total of 2,238,091 sq. ft. floor area in community commercial.
3. "Roadways" include all streets shown on the Land Use Plan on the following page.
4. In addition to the 125.09 acres of open space, formally landscaped areas within the commercial districts, which include landscape buffers, contribute approximately 55.76 acres to the overall formal and informal open space within Kiley Ranch North. Per SMC 20.18, a minimum 20% (166.90 acres) common open space is required. A total of 180.85 acres will be provided.
5. Assumes project builds out either all multi-family residential or all neighborhood commercial although a mix of uses could occur.
6. Number of units/density is not applicable to assisted living, group residential care or residential retirement facilities.

EXHIBIT 1-4A: EXISTING KILEY RANCH NORTH MASTER PLAN

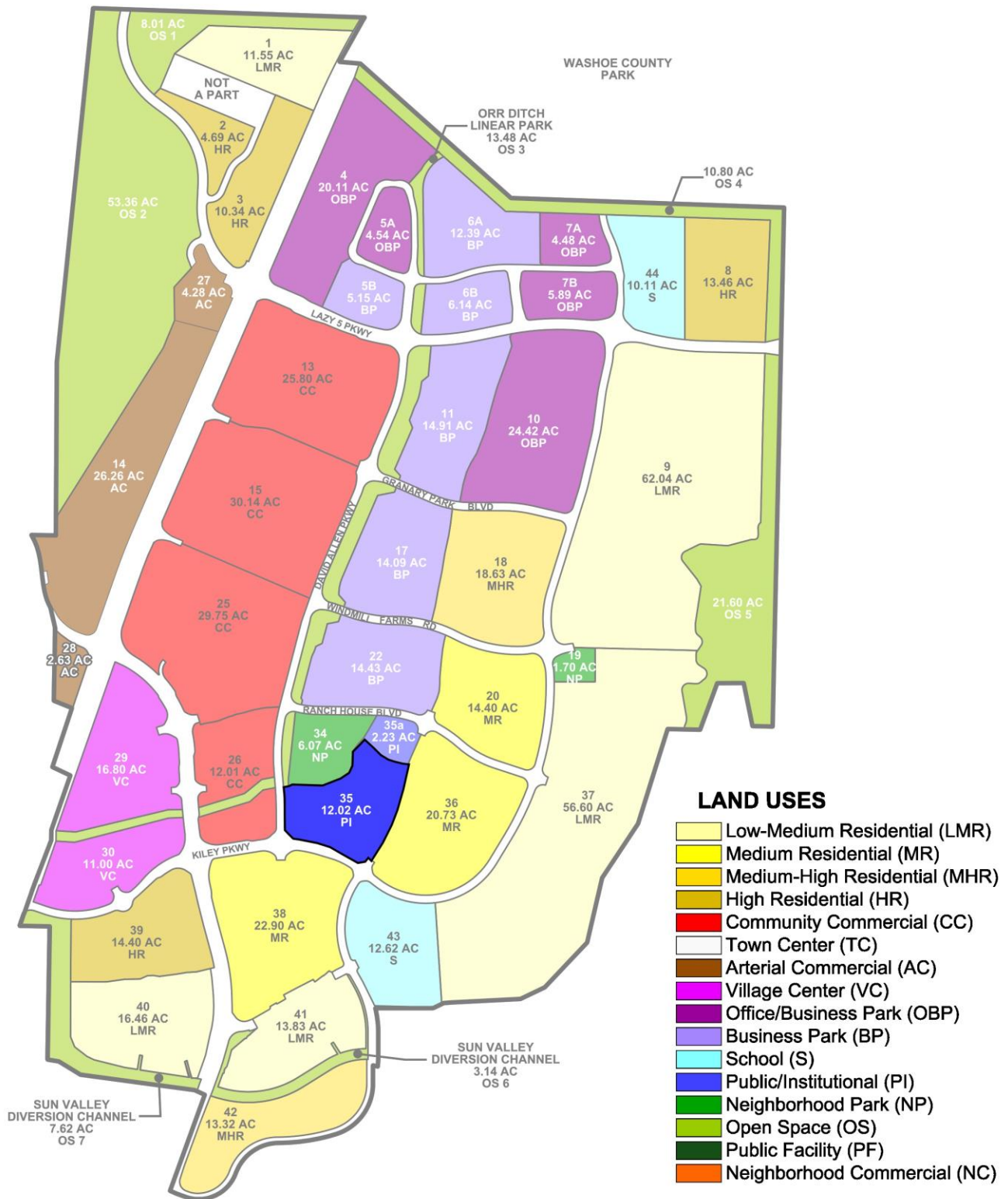
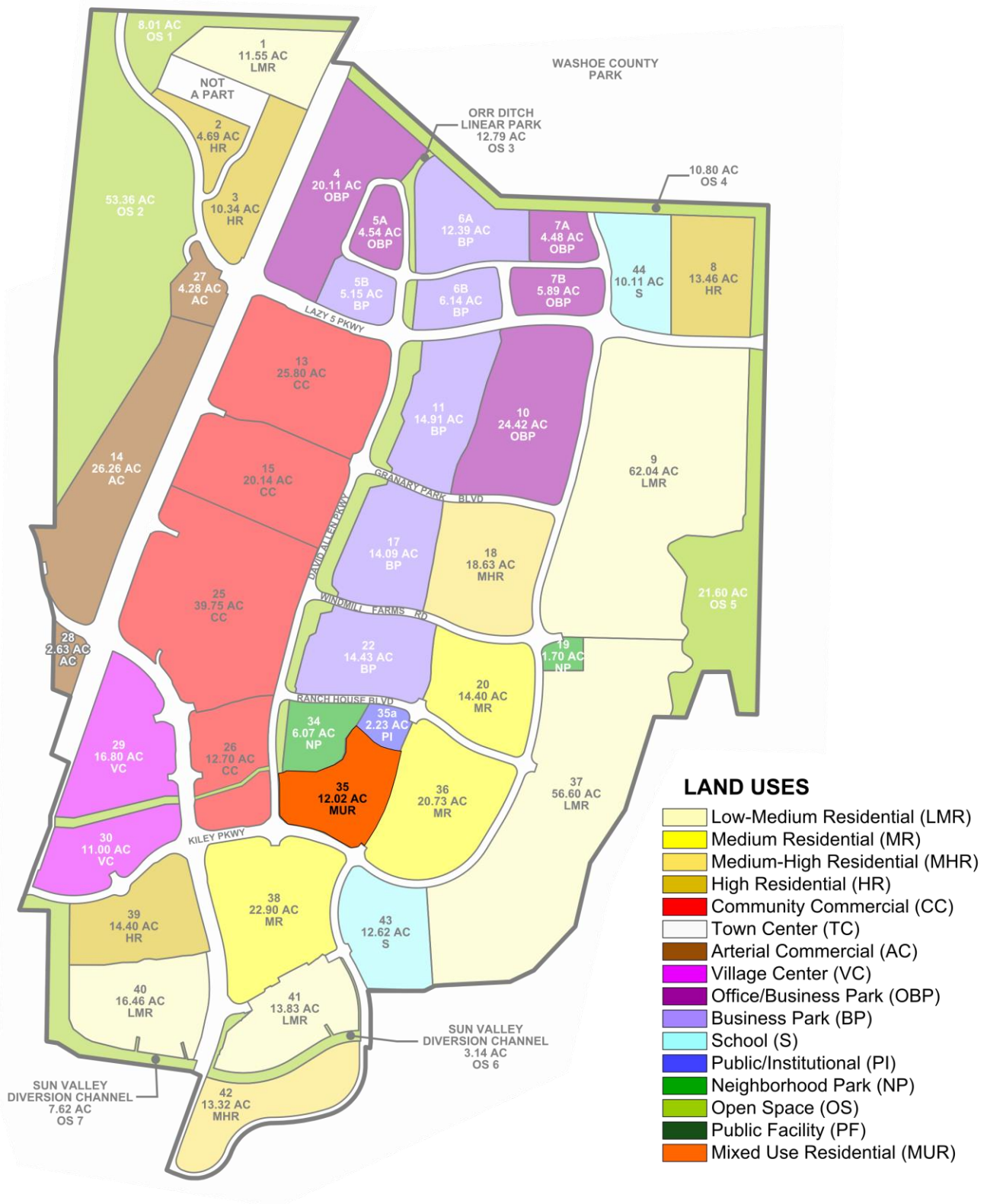


EXHIBIT 1-4B: PROPOSED KILEY RANCH NORTH MASTER PLAN



1.4 HANDBOOK APPROVAL PROCESS

1.4.1 Introduction

Section 1.4 sets forth the approval process for this Handbook (as defined below). Section 1.5 sets forth the approval process for Individual Projects (as defined below). A chart depicting the steps in the approval process both as to the Handbook and Individual Projects is shown in Exhibit 1-5.

1.4.2 General Provisions

This Kiley Ranch North Development Handbook (the “Handbook”) describes in general terms when, where and how development will occur within the Kiley Ranch North Development Project (“Kiley Ranch North”). It provides sufficient specificity to establish a base qualitative standard (the “Development Standards”) for all of Kiley Ranch North. It provides design parameters (the “Design Parameters”) to which each Individual Project built within Kiley Ranch North will conform. It is intended to offer design flexibility while at the same time maintaining minimum standards. Chapter 2 of the Handbook contains standards and regulations relative to development, which establish the Development Standards for Kiley Ranch North. Chapter 3 contains standards and guidelines relative to design, which establish the Design Parameters for Kiley Ranch North.

1.4.3 Handbook Approval Process

This Handbook is being processed pursuant to the Planned (Unit) Development process set forth in NRS Chapter 278A and SMC Chapter 20.18. The Planned (Unit) Development process is intended to provide an expeditious method for processing a plan and to avoid the delay and uncertainty which would arise if it were necessary to secure approval by a multiplicity of local procedures, as well as the approval of a change in the zoning regulations otherwise applicable to the property. The Planned (Unit) Development process allows all of Kiley Ranch North to be planned and developed in a comprehensive and orderly fashion.

Approval of the Handbook shall occur in two stages:

TENTATIVE APPROVAL

First, the Handbook must be tentatively approved by the City of Sparks (“City”) Planning Commission and City Council pursuant to NRS 278A.440 – 520 and SMC Chapter 20.18 (the “Tentative Approval”).

FINAL APPROVAL

Second, final approval of the Handbook, as that term is used in NRS 278A.530 and SMC Chapter 20.18 (the “Final Approval”), shall be obtained through the method set forth in Section 1.4.5 below.

Tentative Approval shall be obtained on the entirety of Kiley Ranch North. Final Approval, however, shall be obtained in one or more phases (each a “Phase”), each containing one or more Individual Projects. Market conditions will dictate to a large degree the timing of development within Kiley Ranch North. Hence, Kiley Ranch North is likely to be developed in multiple Phases over a period of several years.

For purposes of this Handbook, the applicant and owner is ZoZac Land, LLC and is referenced to herein as the “owner”. The owner is expected to be the entity who files the applications for Final Approval of Phase Two. Upon Final Approval of Phase Two, the Handbook shall be recorded against the property.

1.4.4 Duration of Tentative Approval

Tentative Approval shall be revoked pursuant to NRS 278A.520 after one (1) year unless an application for Final Approval of the first phase of Kiley Ranch North is filed within such time period. Applications for Final Approval on subsequent Phases may be filed at such time(s) as market conditions dictate. Tentative Approval on the balance of Kiley Ranch North shall remain in effect until Final Approval is granted on the final Phase, so long as an application for Final Approval of a subsequent Phase is filed within five (5) years after Final Approval of the preceding Phase.

1.4.5 Final Approval Process

As each Phase is ready for development, an application for Final Approval for that Phase shall be filed with the City. Final Approval Handbooks shall be limited to items specific to that particular phase of development. The City Staff shall make a determination whether the Phase is in substantial compliance with the Tentative Approval (“Substantial Compliance”). The Phase submitted for Final Approval is in Substantial Compliance if it does not:

- 1) Vary the proposed gross residential density or intensity of use;
- 2) Vary the proposed ratio of residential to non-residential use;
- 3) Involve a reduction of the area set aside for common open space or the substantial relocation of such area;
- 4) Substantially increase the floor area proposed for non-residential use; or
- 5) Substantially increase the total ground areas covered by buildings or involve a substantial change in the height of buildings.

If the Phase is in Substantial Compliance with the Tentative Approval, it shall be presented to the Planning Commission and City Council as a general business item for Final Approval. If the Phase reviewed is not in Substantial Compliance, the applicant may alter the Phase to make it in Substantial Compliance or may petition the City to review and approve the Phase anyway. Such petition would require a public hearing before the Planning Commission and City Council in accordance with NRS 278A.550.

After Final Approval of a Phase is granted, the Handbook shall be recorded against that portion of Kiley Ranch North included within such Phase. In conjunction with the Final Approval of a Phase, a legal parcel(s) for the portion of Kiley Ranch North included in such Phase pursuant to all applicable laws governing the parcelization of land shall be created.

Final handbooks may be amended by the City of Sparks or the owner pursuant to NRS 278A, following the procedural guidelines for this final approval process. An individual property owner may amend a final handbook for only that portion of real property they own.

1.4.6 Binding Effect of Handbook

Pursuant to NRS 278A.520, NRS 278A.570, the Handbook cannot be modified or otherwise impaired by the action of the City without the consent of the owner and any required landowner, except as specified in NRS 278A.410.

Hence, the Handbook is binding on the City and cannot be changed without the consent of the owner. In the event that either (i) the City is required to consider a request under a discretionary approval process contained herein, or (ii) an application for Final Approval of a Phase is not in Substantial Compliance with Tentative Approval and a public hearing is held to approve such application, then the City’s approval of such request or application may be conditioned on a modification to a provision in the Handbook outside the scope of such request or application only if the City finds that there exists a reasonable relationship between such modification and the request or application, such finding to specify how the modification is reasonably related to the request or application. Subject to the foregoing sentence, a Final

Approval of one Phase shall not alter, modify or otherwise impair the Handbook as to the remaining Phases of Kiley Ranch North and shall only affect the Phase identified in the Final Approval. Furthermore, the City shall not allow amendments to this Handbook without the approval of the owner, as required.

1.4.7 Annexation and Rezoning

Prior to or in conjunction with Final Approval of any Phase, all property in such Phase shall be (or shall have been) annexed into the City and rezoned to new urban district (“NUD”) zoning, in accordance with annexation and zoning procedures set forth in the Nevada Revised Statutes and the Sparks Municipal Code. The owner shall create a legal parcel(s) for the property being annexed and/or rezoned pursuant to all applicable laws governing the parcelization of land.

The standards set forth in the Final Approval of a Phase, as embodied in the NUD zoning classification and the Handbook shall, in accordance with NRS 278A.570, supersede any zoning and subdivision statutes that may otherwise apply. In case of a conflict, this Handbook and the terms of the Final Approval of any Phase shall control. When not addressed by this Handbook or the terms of a Final Approval, the provisions of the Sparks Municipal Code shall control.

1.5 INDIVIDUAL PROJECT APPROVAL PROCESS

1.5.1 General Provisions

Each Phase included in a Final Approval will be comprised of one or more commercial or residential projects (each an “Individual Project”). Prior to development of an Individual Project, such Individual Project shall be reviewed to determine that it meets and conforms with the standards and guidelines of the Handbook, following the plan review approval process set forth in this Section 1.5. In addition, any Individual Project requiring a Special Use Permit (as identified in Table 2-1) must adhere to the normal City of Sparks Special Use Permit process; provided that the application for a Special Use Permit may be processed concurrently with the Final Approval of the Phase in which the Individual Project is located and/or the review process set forth in this Section 1.5.

An owner, developer or builder of an Individual Project is referred to hereinafter as the “Project Applicant.” A Project Applicant shall submit plans to the City Plan Review Committee (the “Plan Review Committee”) to assure that each Individual Project meets or exceeds the Development Standards (see Chapter 2) and fits within the Design Parameters (see Chapter 3) established by this Handbook.

With regard to all determinations made by the administrator under this Section 1.5, the administrator may grant a deviation of up to twenty percent (20%) from the standards and guidelines in the Handbook without conducting a hearing, so long as such deviation will not impair the purpose of the Handbook (each a “Minor Deviation”); provided, however, that in no event shall a Minor Deviation be granted to change the maximum number of residential units or commercial square footage and/or open space acreage, or change or relocate tentatively-approved land use designations as shown on the Master Plan, as set forth on Exhibit 1-4 A & B of this Handbook (provided that adjustments to the boundaries of such land use designations due to changes in the locations of streets dividing two such designations shall not constitute a relocation of a land use designation). In accordance with Section 20.70.020 of the Sparks Municipal Code, the administrator may grant minor deviations from requirements established for a zoning district without conducting a hearing if the applicant for a minor deviation obtains the written consent of the owner of any real property that would be affected by the proposed minor deviation. Minor deviations include, but are not limited to, adjustments of the location and/or dimensions of buildings, parking areas and internal roadways, providing such adjustments do not change any points of ingress or egress to the site. Furthermore, whenever the administrator (in all the foregoing

capacities), at any time in the approval processes set forth in Sections 1.4 or 1.5 of this Handbook, denies the request of a Project Applicant or grants its approval subject to conditions, the administrator shall state in writing with specific standards, guidelines or parameters with which the Individual Project fails to conform. If the Project Applicant does not accept the administrator's conclusions or conditions, the Project Applicant may appeal the City's decision to the Planning Commission, and thereafter to the City Council, pursuant to the general appeal rights in the Sparks Municipal Code (the "Appeal Rights").

Approval of the plans for an Individual Project may be sought either after Final Approval of the Phase in which the Individual Project is located, or concurrently with the Final Approval process; provided, however, that in no event shall approval from the Plan Review Committee be completed prior to completion of the Final Approval process. In the event of any conflict between the plan review process set forth in this Handbook and any other review process used by the City, this Handbook shall control. Where this Handbook is silent on a particular approval procedure, the Sparks Municipal Code or other regulations governing development of land in effect at the time shall prevail.

1.5.2 Commercial Project Site Plan Review Approval

The review process for Individual Commercial Projects consists of two distinct, but interrelated phases:

- 1) The first phase is the pre-application process. It is during this phase that a Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas.
- 2) The second phase consists of the City's process for approving the site plan review, including a Special Use Permit approval, if applicable. Here the City will make its determination as to whether the Project meets and conforms to the standards set forth in this Handbook. The Plan Review Committee will be involved in the approval as outlined below.

It is incumbent upon the Project Applicant to become familiar with the City's review process and application requirements.

(Refer to Exhibit 1-5, Individual Project Approval Process, for schematic of process for project approval.)

PHASE I: PRE-APPLICATION PROCESS

Step 1: A Project Applicant contacts the City of Sparks' Community Development Department to clarify the requirements, standards and policies as identified in this Handbook and requests a pre-application conference.

Step 2: The Project Applicant attends a pre-application conference first with the City Staff. The Project Applicant obtains feedback from attendees and obtains the necessary application(s) and submittal requirements. At this time it shall be determined whether a Special Use Permit will be required for the Project.

PHASE II: CITY OF SPARKS APPROVAL PROCESS

The second phase consists of the City of Sparks' approval process. The process outlined below is somewhat simplified for reference purposes. Project Applicants should familiarize themselves with all City requirements and timelines.

Step 3: A Project Applicant submits the required fee(s) and completed application(s) to the City (using the City of Sparks Application Checklist obtained from the City). The application is reviewed for completeness by City Staff and distributed to appropriate City departments and commenting agencies for comments.

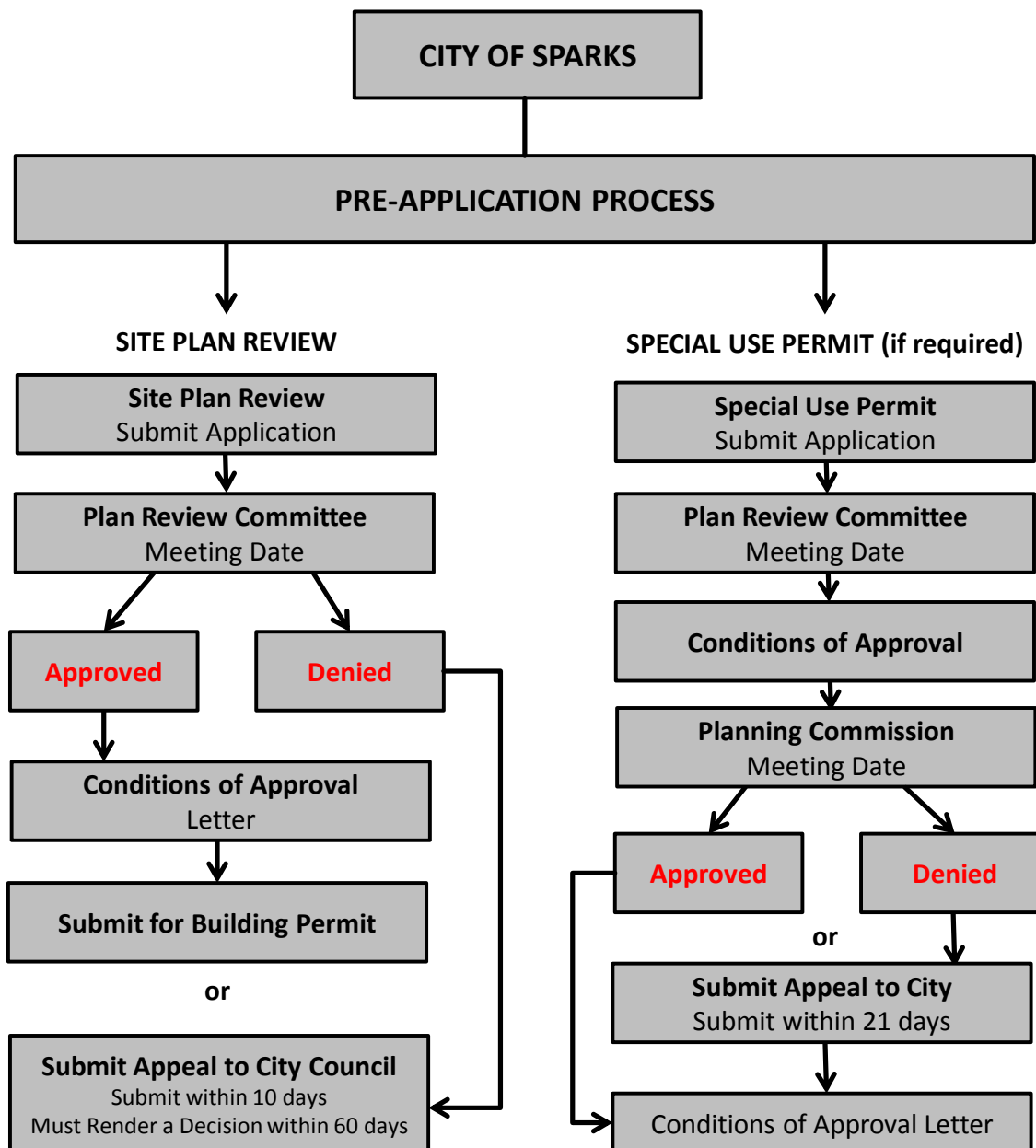
Step 4: The Project Applicant attends a Plan Review meeting(s) in which the Plan Review Committee will discuss the project's conformance with the Development Standards set forth in this Handbook. Following the Plan Review Meeting the Plan Review Committee will issue a conditional approval letter or denial letter.* The Project Applicant may exercise their appeal rights if they do not accept the Plan Review Committee's denial or conditional approval.

Step 5: If a special use permit is required, a Planning Commission public hearing is held to approve the Special Use Permit. If an appeal is filed, a public hearing is held before the City Council to approve the Special Use Permit.

*The City reserves the right to include as a condition of the Site Plan Review approval that an individual project's architecture be reviewed and approved by the Planning Commission as a General Business item prior to the issuance of a building permit for the individual project.

Step 6: Submit for Building Permit

EXHIBIT 1-5: INDIVIDUAL PROJECT APPROVAL PROCESS



2 DEVELOPMENT STANDARDS

2.1 PURPOSE AND COMPLIANCE

The purpose of Chapter Two is to set regulatory requirements for the various land uses located within this phase of development. These requirements include standards for land use, density/intensity, walls, signs, parking, lighting, and landscaping. In addition, standards for the design of rights-of-way, landscape buffers, and entries are also addressed. All development shall comply with the text, policies, standards, and associated tables and exhibits of this Development Handbook. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply. Where this Development Handbook remains silent, the provisions and definitions within the City of Sparks Municipal Code and Subdivision Regulations shall apply.

TABLE 2-1: Permitted and Conditional Uses

Mixed Use Residential

Permitted Uses:

- Accessory uses and structures including buildings for storage (not to exceed size of existing Welcome Center building)
- Group residential care facilities, assisted living, senior housing
- Limited Gaming
- Single-family residences (including detached or attached)
- Multi-family residential (23.9 du/acre maximum)
- Offices (limited to existing Welcome Center building)

Uses requiring a Special Use Permit:

- None

2.2 LAND USE DEVELOPMENT STANDARDS

2.2.1 Mixed Use Residential

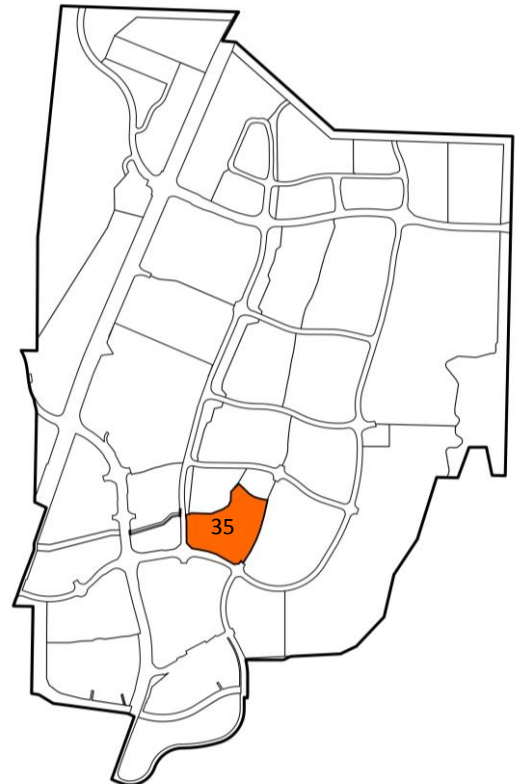
2.2.1.1 Description

The mixed use residential zones provides for single family and multi-family uses, as well as group residential care facilities including assisted care and senior housing communities.

2.2.1.2 Land Use

Permitted uses are contained in Table 2-1, Permitted and Conditional Uses, in Section above.

Retail Commercial Service Areas



Area	Land Use	Gross Acres
35	Mixed Use Residential	12.02
	MUR Total	12.02

2.2.1.3 Setbacks and Density/Intensity Requirements

TYPE	MIXED USE RESIDENTIAL (MUR)	
DESCRIPTION	The mixed use residential designation allows for single family and multi-residential development, including group residential care facilities. Typical uses include attached and detached single family homes; multi-family complexes such as apartments and group residential facilities including assisted care and senior housing communities.	
BUILDING INTENSITY Max. Density	Multi-Residential/Group Residential Care 23.9ac/du⁴	Single Family Residential 11.9du/ac/attached/detached
Building Coverage	40% max.	N/A
Building Height	65 ft. max.	35 ft. max.
Building Separation	0 ft. or 20 ft. min	10 ft. min.
Lot Size	N/A	2,000sf
Minimum Lot Width	N/A	30 ft.
LANDSCAPING		
Landscape Requirement	Min. 15% of Site Area	N/A
LANDSCAPE BUFFER FROM BACK OF CURB		
Kiley Parkway	25 ft. min.	25 ft. min.
David Allen Parkway	25 ft. min.	25 ft. min.
BUILDING SETBACKS FROM PROPERTY LINE³		
Collector Roads	10 ft. min.	10 ft. min.
Internal Private Roads	10 ft. min.	10 ft. min.
Front (including to main structure and porch)	10 ft. min. ⁵	10 ft. min. ⁵
Front to Garage	20 ft. min. ⁵	20 ft. min. ⁵
Side	10 ft. min. ⁵	0 ft. or 5 ft. Min. ⁵
Rear	10 ft. min. ⁵	15 ft. min. ⁵
BUILDING PROJECTIONS	See item 2 below	See item 2 below
<p>1 – Off-street parking and loading shall be provided as required by Chapter 20.49 of the Sparks Municipal Code. Shared parking facilities should be utilized where feasible.</p> <p>2 – Cornices, overhangs and eaves may extend not more than three (3) feet into any required front, side or rear setback. Decks, balconies and landings above the ground floor elevation of a building, exterior stairways, and portions of uncovered decks or porches may extend not more than two (2) feet into any required front, side or rear setback.</p> <p>3 – This includes all property lines within Kiley Ranch North that do not border state highways, boulevards or parkways.</p> <p>4 – Number of units/density is not applicable to assisted living, group residential care or senior residential retirement facilities.</p> <p>5 – Building setbacks from property lines are in addition to setbacks required from Kiley Parkway and David Allen Parkway.</p>		

2.2.1.4 Mixed Use Residential, Gates, Walls and Fences

- a) Gates, walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Sections 20.37.020.B and 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Screen walls shall be used to screen service, loading, trash and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- c) Screen walls shall be a minimum of six feet in height, but not more than eight feet high and shall incorporate landscape screening. Refer to Section 3.2.1.7.
- d) Refer to Section 3.2.1.7 for design guidelines and standards related to the screening of walls with landscape.
- e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the City of Sparks.
- f) Chain link may only be used during construction on a temporary basis at construction sites.
- g) Decorative gates at project entrances are permitted and shall be a maximum average of eight feet in height. Gate materials and design shall be approved by the City of Sparks.

2.2.1.5 Mixed Use Residential, Signs

- a) In addition to the following standards, signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Building and free standing and monument signs are permitted in accordance with SMC 20.56 for R1 (single family); R5 (multi-residential excluding group residential care-assisted living/senior living) and C1 (group residential care-assisted living/senior housing) zoning districts.
- c) These standards may be modified by the developer if unique qualities and standards are required for a project with particular requirements or identity programs. In this case, a master sign program for each development parcel/center where the number, types and location of signs are best determined by the unique needs of the project, may be submitted to the City of Sparks for review. The master sign program shall establish the style and type of sign for the entire development parcel/center so the signs are consistent throughout the project. For new development, signs shall be reviewed through the site plan review process. Remodel of an existing project shall be submitted for a sign permit through the City of Sparks. All signs must be approved and issued a sign permit by the City of Sparks.
- d) Refer to Section 3.2.1.6 for design standards and guidelines related to signs.

2.2.1.6 Mixed Use Residential, Parking

The following parking requirements are maximums for the following typical Mixed Use Residential uses. Joint-use parking should be considered where appropriate at Site Plan Review. All other general parking requirements and

minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

SINGLE-FAMILY RESIDENTIAL

Resident Parking 1 space/bedroom, but no less than 2 per dwelling unit (DU)

MULTI-RESIDENTIAL (excluding group residential care-assisted living/senior housing)

Resident Parking 1 space/efficiency DU/no separate bedroom

Resident Parking 1.5 spaces/1 bedroom DU

Resident Parking 2 spaces/2 bedrooms DU

Resident Parking 2 spaces/3 bedrooms DU

Resident Parking 2.5 spaces/DU larger than 3 bedrooms + 0.5 spaces/additional bedroom

Guest Parking 1 space/10 DUs

MULTI-RESIDENTIAL/GROUP RESIDENTIAL CARE

Group Residential Care Facilities (including assisted care) 0.5 spaces per unit

Residential Retirement Facilities (Senior Housing) 0.75 spaces per unit

2.2.1.7 Mixed Use Residential, Lighting

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the City of Sparks.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Light poles and fixtures within each project shall be approved by the City of Sparks.
- e) A master lighting program for each development parcel/center where the number, types and location of lighting is best determined by the unique needs of the property owners or tenants shall be submitted to the City of Sparks for review. The master lighting program shall establish the style and type of light for the entire development parcel/center so the light poles and fixtures are consistent throughout the project.
- f) Lighting shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- g) Refer to Section 3.2.1.5 for additional design standards and guidelines related to lighting.

2.2.1.8 Mixed Use Residential, Landscape

- a) The minimum number of trees to be planted in the required landscape area shall be one tree per 500 square feet. Parking lot trees are in addition to this requirement.

- b) For parking lots under 125 parking spaces, a minimum of one shade tree for every six (6) parking spaces shall be provided. For parking lots over 125 spaces, a minimum of one shade tree for every ten (10) parking spaces shall be provided. Refer to Section 3.2.1.4 for design standards and guidelines related to landscaping.
- c) Landscaping shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

2.2.1.9 Mixed Use Residential, Trash, Loading and Utility Areas

- a) Trash and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 2-1, Service, Trash and Utility Area Design Standards. Gates shall be constructed of visually pleasing durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, and the City of Sparks.
- b) Service, trash and storage areas shall be incorporated into the overall design of multi-residential and group residential care sites and buildings so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum ten (10) foot wide landscaped area located in front.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.
- d) Rooftop equipment on buildings shall be shielded from view from parking lots and public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.
- e) Refer to Section 3.2.1.8 for specific standards.

EXHIBIT 2-1: SERVICES AND UTILITY AREA DESIGN

Figure A: Service Screening

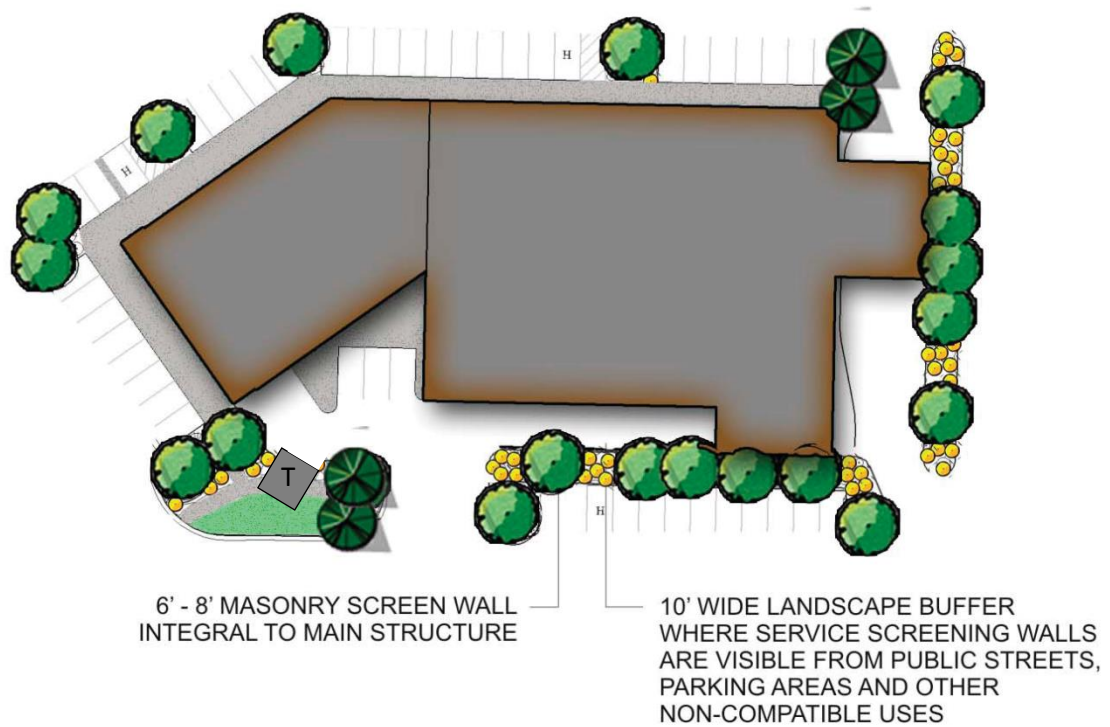
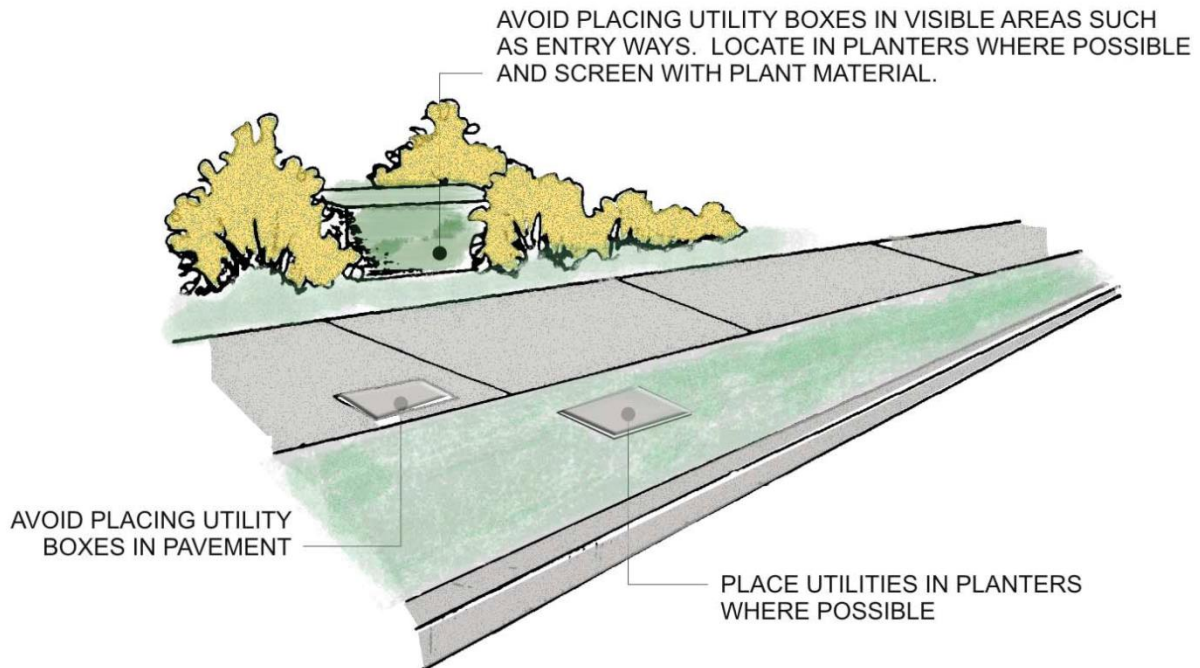


Figure B: Utility Screening



2.3 STREETSCAPE DEVELOPMENT STANDARDS

2.3.1 Circulation Plan

Kiley Ranch North project circulation is handled through a hierarchy of arterials and collectors that define the structure of the community. The circulation plan is significant to the region because it encompasses the intersection of Sparks Boulevard and Pyramid Way. For the purposes of applying design standards and guidelines, the major roadways of the master plan are assumed to have the following classification:

Pyramid Way	Arterial Highway
Sparks Boulevard	Arterial
Highland Ranch Parkway	Arterial
David Allen Parkway	Arterial
Lazy 5 Parkway	Arterial
Kiley Parkway	Collector
Other Collector Roads	Collector

2.3.1.1 Roadway Design

Development of roads within Kiley Ranch North will generally conform to the circulation plan as shown in Exhibit 2-2, Circulation Plan. Exact alignments may vary depending on site specific conditions relevant to the individual development parcels. Plans and sections are provided to illustrate the location and hierarchy of roadways and sidewalk/trails. The intent of the roadway system is to provide regional circulation and access to all parcels from the surrounding areas. The plan utilizes curvilinear alignments and landscaped rights-of-way to establish an overall natural setting. Pedestrian and bicycle trails are designed to be separate from vehicular traffic and will link the neighboring uses and communities to the Kiley Ranch North development.

Pyramid Way is a state road under the jurisdiction of the Nevada Department of Transportation (NDOT). Improvements to Pyramid Way must meet NDOT design Standards. There are five Regional Transportation Commission (RTC) roadways in the Kiley Ranch North Development: Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, David Allen Parkway and Lazy 5 Parkway. Sparks Boulevard and Highland Ranch Parkway have been completed and portions of the other roads have been constructed. Construction of these roadways either has or will be required to meet RTC and City of Sparks standards. It should be noted that the two major roads serving and adjacent to Phase Two property David Allen Parkway and Kiley Parkway, are complete and have been constructed to handbook standards as depicted in Exhibit 2-3 and 2-4.

Landscaping within the rights-of-way, landscape buffers and medians adjacent to the Phase Two property have been installed to enhance and beautify the street corridors along the roadways of Kiley Ranch North. Typical landscape designs for each roadway classification has been incorporated into Section 2.3.2, Streetscape Landscape. Kiley Ranch North has and will utilize roundabouts at key locations within the community, subject to approval by the City of Sparks. Landscaping and lighting of roundabouts shall be approved by the City of Sparks.

2.3.1.2 Access Standards

No specific layouts or users were identified for any of the planning areas at the time the Kiley Ranch North Tentative Development Handbook was approved. RTC access management standards and the City of Sparks Community Services design standards shall be used to direct and determine the design of access and internal circulation plans for owners or users at the time of an individual project is proposed. Accesses and layouts will be reviewed and approved by

the City of Sparks. The access from Highland Ranch Parkway will be allowed pending approval of a traffic analysis and approval of civil engineering improvement plans by the City of Sparks.

2.3.2 Streetscape Landscape

The arterial and collector streets of Kiley Ranch North have been designed to promote a feeling of openness throughout the development. Each of these streets are adjacent to a landscape buffer between 10 feet to 30 feet on each side of the right-of-way, related to its classification and traffic volume. All landscaping within Kiley Ranch North shall be provided in accordance with the City of Sparks Municipal Code unless stricter requirements are identified in this Development Handbook. Landscape design for development projects will be reviewed and approved by the City of Sparks.

CONSTRUCTION

Sidewalks and landscaping (on the roadway side of the sidewalk) are to be installed with the construction of the adjacent roadway. This applies to landscaping within the rights-of-way and landscape buffers along Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, Lazy Five Parkway, David Allen Parkway (except the side that is adjacent to the Orr Ditch Linear Park), and collector roads. Landscape within the landscape buffers on the development side of the sidewalk will be installed with the initial development of the adjacent property by the developer. Medians within Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, Lazy Five Parkway, and David Allen Parkway have and will be installed and landscaped with the construction of the roadway. Refer to Exhibits 2-3 and 2-4 for sections and plans that are applicable to this final handbook. It should be noted that sidewalks and landscaping along the two major roads serving the Phase Two property, David Allen Parkway and Kiley Parkway are already constructed to handbook standards.

MAINTENANCE

Landscaping located within the right-of-way shall be maintained by the City of Sparks. Additionally, landscape located on private property shall be maintained by the property owner.

EXHIBIT 2-2: CIRCULATION PLAN

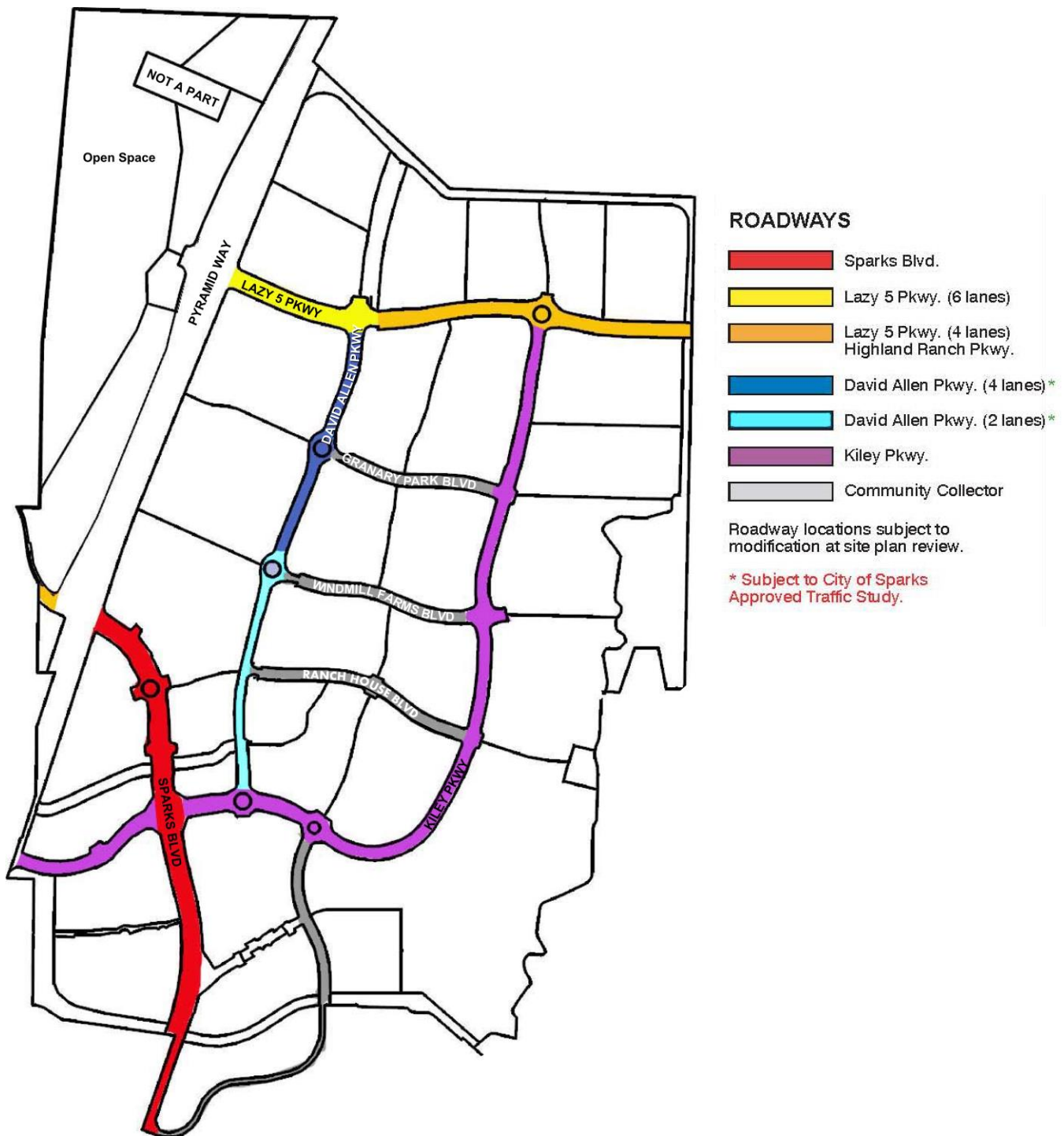
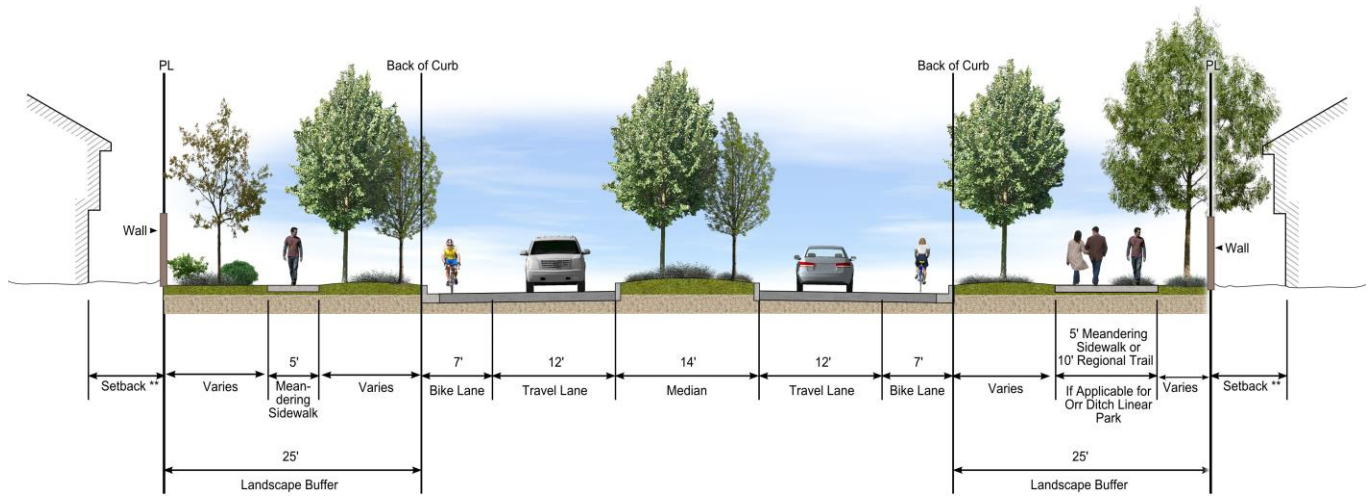


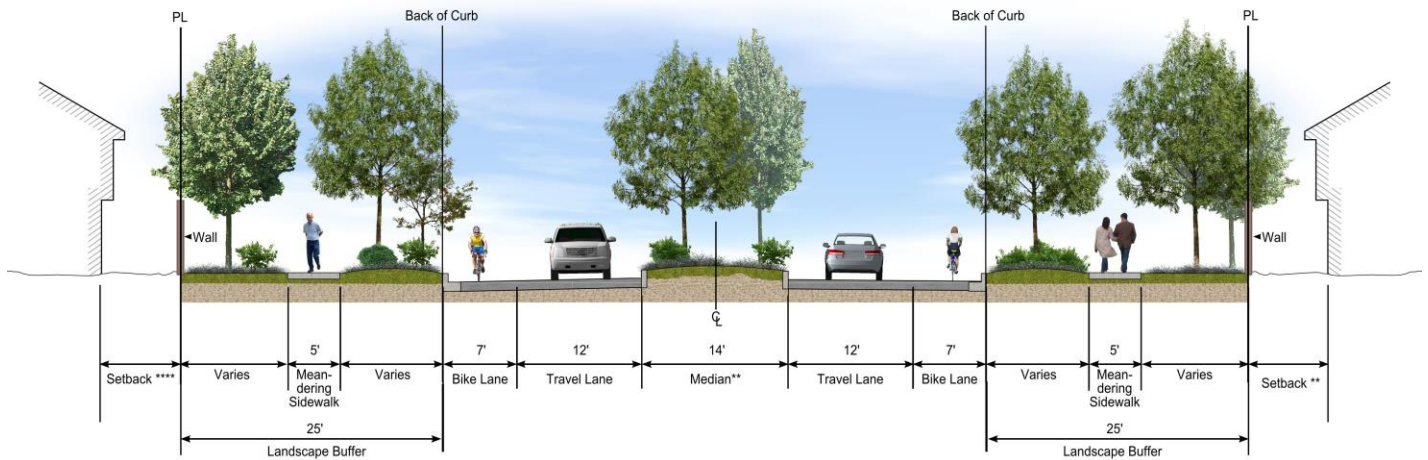
EXHIBIT 2-3: David Allen Parkway Conceptual Detail



NOTES

- * Road sections are conceptual in nature and are subject to modifications by the Master Developer, their designee or assignee to the approval of the Administrator; exact design is dependent on specific site conditions.
- ** Setbacks from property line per 2.2.1.3 setbacks and density/intensity requirements.

EXHIBIT 2-4: Kiley Parkway Conceptual Detail



NOTES

- * Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with initial development of the adjacent property. Refer to section 2.3.2 for additional criteria.
- ** Entire median to be constructed with the construction of the initial roadway.
- *** Road sections are conceptual in nature and are subject to modifications by the Master Developer, their designee or assignee to the approval of the Administrator; exact design is dependent on specific site conditions.
- **** Setbacks from property line per 2.2.1.3 setbacks and density/intensity requirements.

The City of Sparks shall be responsible for the maintenance and liability of all sidewalks/trails within the public right-of-way or within other easement areas dedicated for public use. A public access easement shall be granted to the City of Sparks for all sidewalks/trails located outside the right-of-way. An access easement shall be granted to the property owner for all landscape areas within the right-of-way.

GENERAL REQUIREMENTS AND DEFINITIONS:

- a) Evergreen trees shall be a minimum of 6' in height.
- b) Deciduous trees shall be a minimum 2 inch caliper.
- c) Groundcover includes:
 - 1.) Living plants, such as shrubs, turf grasses, vines, meadow grasses and wild flowers, or other living ground covers.
 - 2.) Wood chips, bark, decorative rock or other non-living material may be used and shall have a minimum depth of 4" and shall not exceed 10% coverage of plants are not used.
 - 3.) Plastic, steel, or other appropriate edging material shall be provided around ground cover beds to retain loose ground cover material.
- d) At time of planting, all groundcover and shrub areas must have 100% coverage with organic, rock and/or bark mulch, to protect the soil.
- e) Slope banks shall utilize native and/or adapted species to reduce maintenance and irrigation requirements. Adapted species refers to non-native or exotic plant species that are non-invasive and well adapted to the local climate and growing conditions.
- f) All trees should have a minimum 2' diameter mulched base.
- g) Large trees exceed 40 feet in height and 40 feet canopy diameter at maturity.
- h) Medium trees range from 20 feet to 40 feet in height and 10 feet to 40 feet in canopy diameter at maturity.
- i) Small trees range from 8 feet to 20 feet in height and 6 feet to 20 feet in canopy diameter at maturity.
- j) Riparian species refers to water-loving plants that are usually associated with drainage ways or riparian corridors.
- k) Formal groupings refers to the linear or patterned arrangement of plants at a regular spacing interval.
- l) Informal and clustered groupings refers to the random or irregular arrangement of plants in groups of 3 or more and spaced a maximum of 60 feet between clusters.

Table 2-2: Landscape Buffer Standards

David Allen Parkway, Kiley Ranch Parkway, Lazy 5 Parkway, Sparks Blvd.	
• Tree Spacing	30 ft. on center (40' on center in medians) Deciduous trees randomly spaced in clusters. Evergreen trees may be provided in limited locations for accent, but not in locations where site distances may be impaired and not in medians.
• Tree Size	Deciduous – 2" caliper (min) Evergreen – 6 ft. height (min)
• Tree Mix	100% Deciduous (Evergreens may be used as accents to the approval of the Administrator, but not in medians).
• Shrubs	6 shrubs provided for every required tree. Shrubs provided as a mix of 70% shrubs and 30% living ground cover.

2.3.3 Street Lighting

The lighting for Kiley Ranch North will be designed to enhance the quality and safety of the streetscape corridors. Lighting design will contribute to the overall atmosphere by reinforcing the community structure through a cohesive, identifiably unique palette of materials. Lighting design will be reviewed and approved by the City of Sparks. All

lighting located within the right-of-way of arterial, collector and local streets, and the adjacent landscape buffers and other public common areas shall be a decorative standard street light pole and fixture selected from available NV Energy optional fixtures, to the approval of the Administrator. The street lights will be installed by the property owner or their assignees or designees and maintained by the City of Sparks only if standard City approved fixtures are installed. In the event non-standard fixtures are used maintenance will be the responsibility of the adjacent property owner. This section provides lighting standards for arterials, collectors and local streets, as well as pedestrian, landscape and sign lighting within Kiley Ranch North. The goals of these lighting standards are to:

- (1) Provide a safe level of illumination for both motorists and pedestrians;
- (2) Reinforce the pedestrian scale of the community; and
- (3) Allow for quality lighting design that reflects the theme of the community

2.3.3.1 Arterials, Collectors and Local Streets

GENERAL REQUIREMENTS:

- a) Lighting fixture types shall be of a consistent scale, design and color along street corridors
- b) Lighting fixture types shall differentiate use areas within Kiley Ranch North.
- c) Street lighting shall be directionally shaded to reduce offsite fugitive light and glare.
- d) Light fixture height shall not exceed the maximum heights indicated for the specific application.
- e) The location and design of street lighting at roundabouts will be subject to the approval of the City of Sparks.

2.3.4 Paths

Paths include sidewalks and multi-use trails, which allow pedestrians and bicyclists. Sidewalks and trails are located within landscape buffers along significant transportation corridors within Kiley Ranch North as shown in Exhibit 2-4, Sidewalk/Trail System. Refer to Exhibit 2-2 and 2-3 for design standards related to sidewalks and trails. The design of paths will be reviewed and approved by the City of Sparks.

Sidewalks along David Allen Parkway (with the exception of a small area to the north of the existing driveway that provides access to the existing Welcome Center building) and Kiley Parkway adjacent to the Phase Two property have been constructed. Any new sidewalks or trails shall be installed with the construction of new roadways or adjacent development by the party responsible for the installation of the adjacent improvements (Refer to Section 2.3.2.). The City of Sparks shall be responsible for the maintenance and liability of all sidewalks and trails within the rights-of-way, landscape buffers, public parks, and regional trails in Kiley Ranch North. A public access easement shall be granted to the City of Sparks for all sidewalks and trails located outside the right-of-way.

GENERAL GUIDELINES

- a) All pedestrian travel surfaces must conform to American Disability Act (ADA) standards.
- b) Trails and sidewalks located within the landscape buffers shall provide connections to the adjacent development.

2.3.5 Public Transportation

2.3.5.1 Bus Stops

Public transit as an alternate mode of transportation shall be planned for throughout Kiley Ranch North. Each developer shall provide for bus stops in accordance with Regional Transportation Commission's (RTC) Master Plan for the area. Bus stops will be constructed utilizing RTC standards and be constructed with the adjacent project. Bus shelters shall be designed in relation to the architecture of the adjacent project. Bus stop construction shall be coordinated with RTC and approved by the administrator.

2.3.5.2 Park and Ride

A park and ride facility shall be provided within Kiley Ranch North. It is encouraged that the facility be joint-use and incorporated into a parking lot area within a commercial use. The facility shall provide bus shelters designed in relation to the architecture of the project. Timing of the construction of the park and ride facility will be based upon the buildout of the Kiley Ranch North, but shall occur no later than completion of the final phase of the commercial development.

2.3.5.3 Employee Trip Reduction

Employee trip reduction is fundamental to the design of the Kiley Ranch North Master Plan. The property owners should cooperate with the RTC and the City to promote employment trip reduction. This should include a combination of bicycling, vanpooling, carpooling, and other trip reduction techniques.

3 DESIGN STANDARDS AND GUIDELINES

3.1 PURPOSE AND COMPLIANCE

The purpose of this chapter is to establish a base qualitative standard through the use of design parameters within which developers building in Kiley Ranch North Phase Two must retain and that will ensure that projects will contribute to the character and vision outlined for the community. The standards and guidelines in this chapter will shape the development of the Phase Two area by providing specific design criteria for building orientation, landscaping, lighting, signs, walls and fences and other design elements integral to creating a development project that fits into the theme of the entire Kiley Ranch North community. Architecture standards and guidelines are also provided to ensure buildings within Kiley Ranch North Two are attractive and relate to one another and the community character. The photographs contained in this Chapter are provided to convey the general design intent of the standards and guidelines and are not intended to require the specific design style depicted.

During the development review process the City of Sparks will review all development applications and ensure the proposed project meets the intent of these design standards and guidelines

3.2 MIXED USE RESIDENTIAL SITE PLANNING STANDARDS AND GUIDELINES

The purpose of the site planning standards and guidelines is to address general provisions of site development which include building orientation, grading and drainage, parking areas, landscape, lighting, signs, walls and fences, and service areas as applicable for non-residential, multi-family and single-family residential projects. Site planning controls the proper placement of buildings, internal roads that service the linkages and land use relationships at a human-scale, in order to create a stimulation and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods and minimize negative impacts on the natural environment.

EXHIBIT 3-1: Multi-Residential/Group Residential Care Conceptual Site Plan



3.2.1 Multi-Residential Uses

Site planning, architectural design, and landscape shall be integrated into a unified design of new multi-residential housing (including group residential care, assisted care, retirement facilities or senior housing). These site planning standards and guidelines address the following issues: placement and orientation of multi-family buildings; site grading and drainage; landscaping and public spaces; placement of parking/carports/garages; walls and fences; trash and storage areas; and lighting.

3.2.1.1 Multi-Residential Building Orientation

- a) Building placement and orientation shall be designed to create visual interest along public right-of-ways and within the project. Buildings and landscape elements in a single project shall demonstrate a positive functional relationship to one another.
- b) Residential buildings should be grouped in clusters and sited to minimize the scale of the project. Larger building masses should provide larger open space areas. Small blocks of parking with walks, entries, and mailboxes within each cluster of buildings shall be utilized to provide a sense of identity and convenience.
- c) Buildings shall be oriented and clustered in such a way as to provide courtyards and open space areas. (Refer to photographic examples to the right.) The open space shall be usable area, not steep in slope or riparian in nature.
- d) To provide privacy between living spaces, there should be distance separations, buffering or changes in the angles of units.
- e) All multi residential developments shall incorporate pedestrian connections to uses as well as to the community sidewalk/trail system. (Refer to photographic examples to the right.)
- f) There may be common barbecue areas with tables provided within the multi residential development, which can count towards recreational facilities.



3.2.1.1 a) Building orientation variations create interest with multi-residential projects.



3.2.1.1 c) Multi-family projects with landscape areas surrounded by residential units in a courtyard setting provide safety and community interaction.



3.2.1.1 e) Pedestrian connections allow residents to walk to sidewalk and trail system.



3.2.1.1 h) Multi-residential projects providing recreational amenities add to the quality of life for residents.



3.2.1.1 i) Shared open-space amenities such as barbecue areas, lawn areas and children's play areas add to the convenience and quality of life in multi residential neighborhoods.

g) Multi residential development over 25 units (with the exception of group residential care, assisted care or retirement facilities) shall have a secure children's play area with play equipment that is visible from as many units as possible. In all multi-residential developments over 25 units including group residential care, assisted care or retirement facilities shall incorporate three (3) of the following recreational facilities and amenities:

- Children's playground
- Swimming pool
- Tennis courts
- Horseshoes
- Spa
- Exercise equipment
- Game room
- Community room
- Par course
- Walking path (minimum ¼ mile in length)
- Picnic areas to include tables with barbecues
- Volleyball court
- Basketball court
- Lawn areas for field games
- Garden areas with seating
- Fountains
- Shade structures with seating
- Water features

h) The recreational facilities shall be conveniently and centrally located for the majority of the units. (Refer to photographic examples to the left.)

i) Private open space, such as decks or patios shall be required for each unit (with the exception of group residential care, assisted care or retirement facilities) and must be contiguous to the units with a minimum width of six (6) feet.

3.2.1.2 Multi-Residential Grading and Drainage

a) The design of multi residential projects shall be sensitive to the natural terrain, and structures shall be located in such as manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.

b) Site grading shall be designed to complement the architectural and landscape design character of the community, screening parking and service areas, reducing the perception of height and mass on larger buildings, and providing reasonable transitions between on-site uses.

- c) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with the City of Sparks Hillside Development Ordinance.
- d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- e) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- f) The developer shall provide a final hydrological report for the project in conformance with the City's Hydrological Criteria and Drainage Design Manual (HCDDM) for review and approval by the Engineering Manager.
- h) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- i) The developer shall submit an erosion control plan with each grading plan.

3.2.1.3 Multi-Residential Entry Drives, Parking Lots & Drop Off Areas

- a) Entrances and driveways into the complex shall be distinct. As the project builds out, entry drives shall be enhanced with landscaping and signage to create a statement of arrival.
- b) Parking areas shall be distributed throughout the complex to provide convenience to users, visitors and employees.
- c) Convenient and safe pedestrian connections to building entries shall be provided from public street sidewalks, parking and drop off areas through the design of an internal pedestrian network with sidewalks a minimum of 5 feet in width.
- d) Covered parking spaces and parking decks are permitted but not required.



3.2.1.2 d, e) Revegetated slopes provide a transition from the street to the project site.



3.2.1.3 c) Accent entries provide visual interest and safe pedestrian crossings.



3.2.1.3 d) Carports are an amenity in multi-residential projects.



3.2.1.3 b, e) Conveniently distributed parking spaces that do not overlay sidewalks and are close in proximity to buildings are desirable for residents.

- e) Parking spaces shall be designed as to not result in vehicle overhang onto sidewalks.
- f) Internal access drives shall be set back from the building frontage a minimum of ten (10) feet or a minimum of fifteen (15) feet with bench area. These areas shall include a walkway where appropriate.
- g) One planter island, with a minimum width of eight (8) feet inside the curbing material shall be provided every 10 parking spaces. Islands shall be evenly distributed throughout the parking area, off-set where possible and shall include islands at the end of parking aisles. Each planter shall contain at least one tree and shall have a minimum area of 144 square feet for single loaded parking and 288 square feet for double loaded parking.
- h) Parking lot design, configuration and sizes of parking stalls (including accessible stalls) and aisles shall comply with Chapter 20.49 of the Sparks Municipal Code. Where a conflict exists between these standards and the Municipal Code the standards herein shall apply.

3.2.1.4 Multi-Residential Landscape

The landscape design concepts and plant materials incorporated shall be consistent in form, texture and color with the overall architectural theme of the complex. Landscape buffers (which can be considered in setback measurements) to be provided by the property owner are required along public right-of-ways. Refer to Exhibits 2-3 and 2-4 and Table 2-2 for landscape buffer requirements. Each property shall be landscaped as required in Section 2.2, Land Use Development Standards.

- a) Where the standards contained in this section are silent the landscaping standards contained in Chapter 20.32 of the Sparks Municipal Code shall apply. Where a conflict exists between these design standards and the City of Sparks Municipal Code, the standards herein shall apply.
- b) Required landscaping shall be provided with each phase of the project. Undisturbed areas not defined as the specific site area may remain in their existing undeveloped state until additional phases of the project are constructed. At build-out, however, all development areas not utilized for parking, buildings, plazas and site amenities or access/circulation shall be landscaped to the back of curb.

- c) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
- d) All landscape areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems (with the exception of drip lines) shall be placed underground.
- e) Accent landscaping such as specimen trees, colorful perennial shrubs, groundcovers, tall grasses and flowers shall be used at major entries to the complex.
- f) Required landscape areas may include decorative hardscape plazas, special gardens, and public areas with sculptures, fountains and/or seating.

3.2.1.5 Multi-Residential Lighting

- a) Lighting fixtures and types shall differentiate use areas and emphasize project amenities, such as plazas, walkways and building entries.
- b) When locating parking lot, walkway and area lighting, safety shall be of concern. Lighting shall be located in areas that provide a safe and pleasant environment for pedestrians.
- c) Parking lot, walkway and area lighting heights shall be reflective of the architecture of the project and be in scale with the setting.
- d) The use of bollard lighting is encouraged in pedestrian areas.
- e) Accent lighting may be used to facilitate way finding, building entries and plaza and public areas.
- f) Minimal energy consumption shall be a factor in lighting type selection.



3.2.1.4 c) Attractive, low water demand plant materials reduce water usage.



3.2.1.4 e) A variety of accent landscaping provides interest to multi-residential projects.



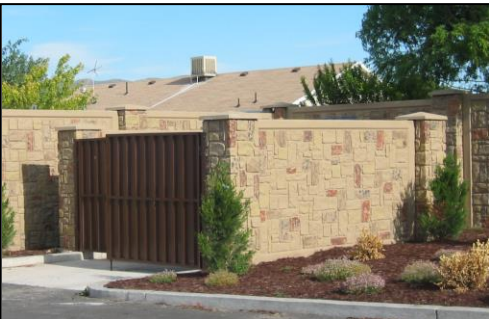
3.2.1.4 f) Decorative landscape areas provide seating for residents.



3.2.1.7. a, b, c) Open view fencing enhances views inside and outside multi-residential projects.



3.2.1.7. a, b, c) Open view fencing consistent with project colors is attractive from street right-of-ways.



3.2.2.8 a, b, c, f) Trash enclosures with landscape screens and architecture that is similar to that of the project help to minimize the negative visual impact of these structures.

3.2.1.6 Multi-Residential Signs

Consistent signage to provide for identification and way finding is critical to the success of any residential complex. All multi-residential projects require a directory sign at the entrance. Primary entry identification signage; exterior way finding signs, and building entrance signage are anticipated to be necessary with development of any complex.

All signs shall be in accordance with Chapter 20.56 of the Sparks Municipal Code.

3.2.1.7 Multi-Residential Gates, Walls and Fences

- a) Multi-residential projects shall minimize the use of solid walls adjacent to the right-of-way to the greatest extent possible. Where practical, open view fences or buildings sited in such a way that they serve the function of walls should be employed (Refer to photographic examples to the right.).
- b) View fences shall include landscape with trees and shrubs, in a minimum of 6 foot wide planter area, to screen views of private yards from adjacent properties and public right-of-ways (Refer to Exhibit 3-3, Walls and Fences).
- c) All gates, walls and fences shall be incorporated into the design of the surrounding buildings and shall be approved by the City of Sparks Administrator. Design of all gates, walls and fences shall be consistent in terms of material, color and detail within each multifamily and attached single family residential project.

3.2.1.8 Multi-Residential Services, Trash Loading and Utility Areas

- a) Storage areas, utility meters, HVAC, trash enclosures, and other service functions shall be screened, recessed or enclosed. (Refer to photographic example to the left.)
- b) Trash and storage areas shall be designed as an integral part of the structure(s) and shall not be oriented to any public right-of-way or pedestrian walkway without adequate screening. It is the intent to locate these facilities in the most inconspicuous manner as possible.

- c) Switch boxes, transformers, electrical and gas meters, including ground mounted air conditioning units and other above ground or building mounted utility elements (including antennas or satellite dishes), shall be screened with elements compatible with the building architecture or located out of view from public roads, driveways and common public areas, such as exterior entrances, pathways and parks. (Refer to photographic example to the left.)
- d) All trash and garbage bins shall be stored in an enclosure, approved by disposal services and the City of Sparks.
- e) Trash enclosures shall be constructed to be architecturally compatible with the project. All trash enclosures shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed.
- f) A loading and delivery space may be located adjacent to parking areas for multi-residential or group residential care facilities. Loading docks, if necessary shall not be directly visible from a public street and shall be screened by a minimum 10 foot wide landscape buffer. Screening shall be complete (if landscaping is used then 80% landscape screen within 3 years) and shall match the design of the building. Refer to Exhibit 2-1 Service, Trash and Utility Area Design Standards.



3.2.2.8 a, d) The screening of utilities can be integrated into the adjacent building through the use of similar materials and architectural elements.

3.2.2 Single Family Residential Areas

Site planning, architectural design and landscape design shall be integrated into a unified neighborhood concept for attached and detached single family residential designs. This can be accomplished through a variety of designs including: unique entry features; theme wall and fencing; pocket park design elements; special landscape treatments, planters, and other elements; consistent use of building clusters; and sidewalk/trail linkages (Refer to Exhibit 3-2, Single Family Residential Neighborhood Design).

3.2.2.1 Single Family Residential Neighborhood Design

The residential neighborhoods of Kiley Ranch North will promote visual diversity and avoid monotonous development patterns. This can be achieved through the use of several techniques including: minimizing the visual impact of the garage; avoiding repetitious floor plans and footprints; varying setbacks at porches, garages and living areas; and opening corner lots through selective plan form and reduced building heights. The following standards and guidelines promote visual diversity along the streetscape and promote the use of street-oriented architecture.

- a) Forward architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street on most plan variations. (Refer to photographic example to the right.)
- b) With the exception of zero lot line lots, plans should be reversed and plotted so that garages and entries are adjacent to each other. This creates an undulating sense of setback. Occasionally this pattern should be broken so that it will not become overly repetitious or reflected by the massing across the street.
- c) The garage shall not be the dominant feature of the building facade facing the street.
- d) So as not to contribute to a repetitious and monotonous appearance along the street, the use of varying building setbacks from the street right-of-way is encouraged. Refer to Exhibit 3-3, Figure A.
- e) At least one house plan per neighborhood should be developed for corner plotting. Corner plotting requires wrap-around architecture and the ability to turn the garage for side entry. Refer to Exhibit 3-3, Figure A.

- f) Neighborhoods shall provide connections into the community trail system. Open cul-de-sacs are required where a connection to the community trail system can be made. Refer to Exhibit 3-3, Figures B, C and D.
- g) In order to avoid a continuous “walled” character along arterial and collector roads, special treatments shall be used approximately every 500 feet. These may entail open cul-de-sacs, view fencing, trail connections, variable wall alignments or the use of decorative pilasters.

EXHIBIT 3-2: SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD DESIGN

Figure A: Variation of Front Yard Setbacks

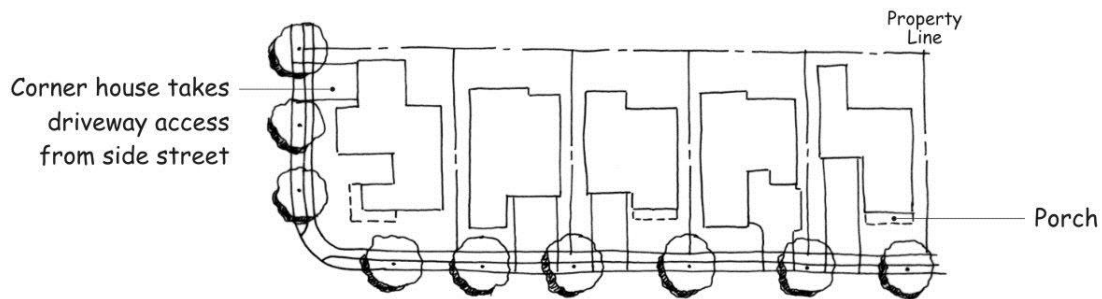


Figure B: Connection to Trail System from Cul-de-sac

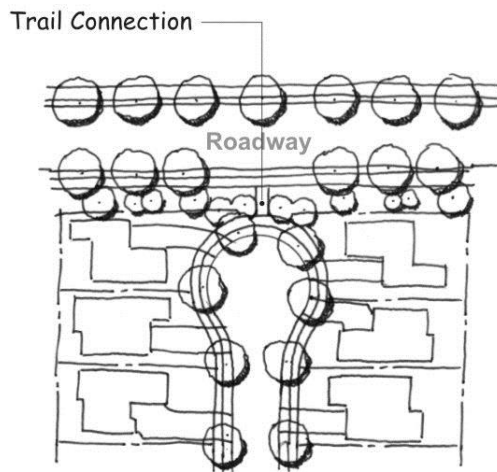


Figure C: Connection to Trail System

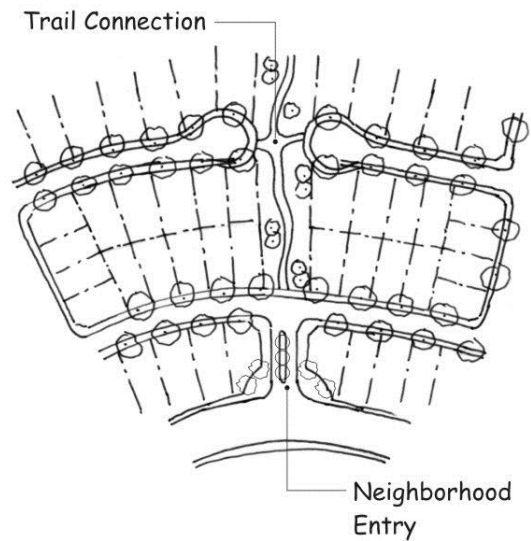
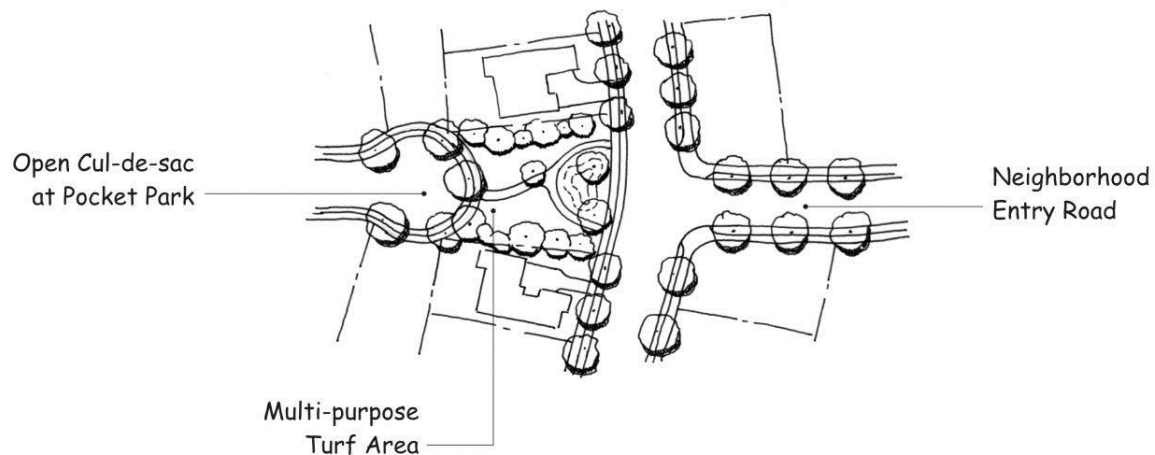


Figure D: Open Cul-de-sac



*Note: Single family detached examples are shown, however similar concepts would apply for single family attached projects.

3.2.2.2 Single Family Residential Grading

- a) The design of residential neighborhoods shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with the City of Sparks Hillside Development Ordinance.
- c) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- d) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- e) Slope banks used in conjunction of the terracing of residential lots shall be maintained by the property on the down slope side.
- f) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- g) The developer shall submit an erosion control plan with each grading plan.

3.2.2.3 Single Family Residential Landscape

- a) Within residential neighborhoods, sidewalks shall be separated from the curb edge by a planted parkway consisting of low, spreading groundcover or turf. (Refer to photographic example to the right.) Landscape within the parkway shall be installed by the developer before the occupancy of the adjacent home, unless climatic conditions prevent planting, in which case a bond shall be provided for landscaping during the subsequent growing season. Although the planted parkway is located within the public right-of-way it is to be maintained by the adjacent property owner.



3.2.2.3 a) Parkway and continuous sidewalks provide a pleasant pedestrian environment.

- b) Street trees shall be planted within the parkway at a regular interval of no greater than 50 feet apart, with a minimum of one street tree per residential lot street frontage.
- c) Each neighborhood shall use a mix of species of large canopy shade trees for all primary circulation routes within the neighborhood.
- d) The landscape character should vary from neighborhood to neighborhood. Each neighborhood may use an ornamental/flowering tree species unique to that neighborhood as approved by the City of Sparks.
- e) Front yard landscaping is required for all homes and will be reviewed and approved with the final map establishing installation timing.
- f) Front yard landscape packages shall be provided by developers/builders subject to the review and approval of the City of Sparks and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided (minimum 3 packages); front yard landscaping designs with berming, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and at least one (1) package shall have a minimal use of turf/lawn (no more than 25 percent of the planted area in the front yard).

3.2.2.4 Single Family Residential Lighting

- a) Lighting shall be designed to differentiate land use areas, emphasize community amenities, provide continuity along street corridors and ensure the safety of residents and users.
- b) Exterior lighting shall be shielded from projection offsite and designed to be compatible with the architectural and landscape design of the home.

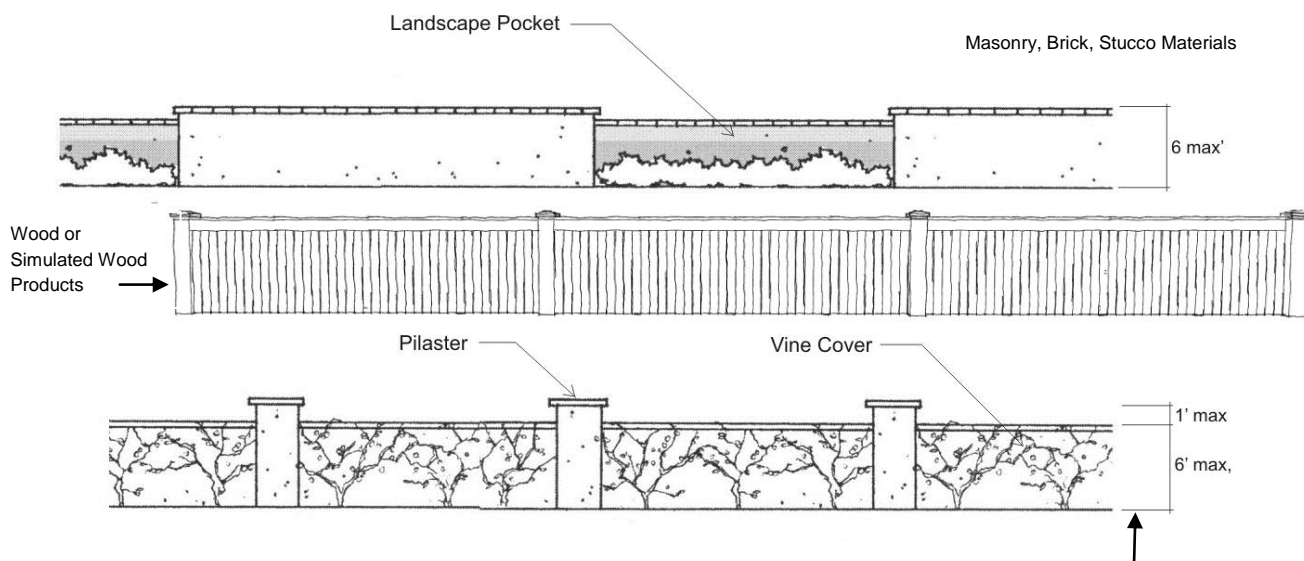
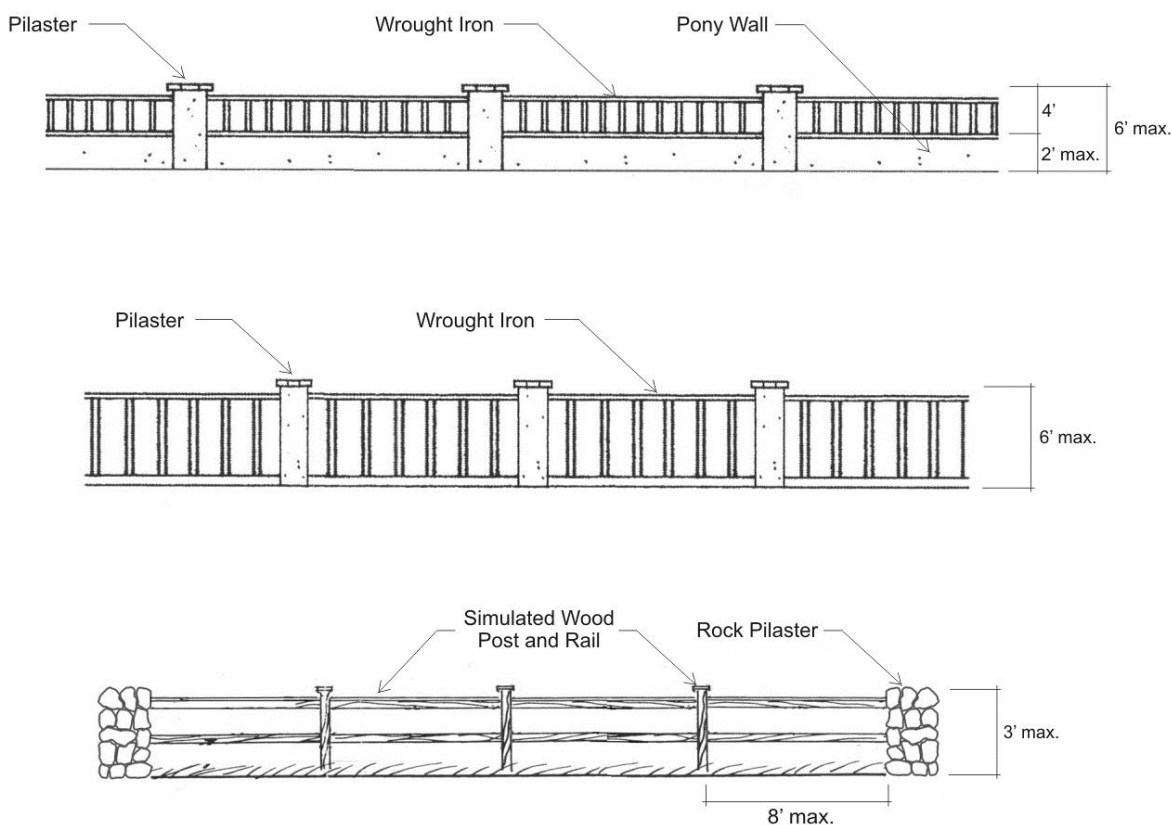
3.2.2.5 Single Family Residential Walls and Fences

- a) A master fencing plan for Kiley Ranch North Phase Two projects shall be prepared by the master developer and submitted to the City of Sparks for approval with the development application for the project in which the walls are to be constructed. The master fencing plan shall identify locations for community walls and fences as well as set their design character.

- b) Community walls and fences shall be used where necessary to provide privacy and security for residential neighborhoods from adjacent arterial and collector roads. The use of community walls shall be limited. If community walls and fences are necessary adjacent to golf courses or open space, view fences shall be used.
- c) Walls and fences within the community shall not become the dominant visual element and walls where needed shall blend into the overall landscape. Berming or berms with lower walls shall be considered as an alternative to typical community walls.
- d) Community walls and fences shall be a maximum of six feet in height. Appropriate materials include wood, simulated wood, stone, masonry products, stucco, stone veneer, split face/precision block, tubular steel, concrete, stucco pilasters and cap, and wrought iron. The design style, color and detail shall be consistent throughout the Kiley Ranch North Phase Two. Refer to Exhibit 3-3.
- e) Community walls and fences shall blend into the overall landscape and not become the dominant visual element. Through site planning, product plotting, architectural detailing, and landscaping this can be achieved. (Refer to photographic examples to the right.) Along major streets, there shall be a minimum 6 foot wide landscape planter that includes streetscape planting standards outlined in Table 2-2.
- f) View fences shall be used where the rear of individual lots are adjacent to open space. Refer to Exhibit 3-3 for examples of view fences. View fences shall be maintained by the adjacent property owner.
- g) View fences shall include landscaping with trees and shrubs to screen views of private yards from adjacent properties and public right-of-ways.
- h) View fences shall be constructed of wrought iron or similar quality material and be consistent in terms of material, color and detail within each residential neighborhood or subdivision.
- i) A combination of community walls, fences and view fencing is encouraged to break up long stretches of solid walls.
- j) Community walls, fences and view fences shall comply with the regulations contained in Section 2.2.1.4.
- k) All walls and fences associated with a development project shall be installed concurrently with the development and maintained by the property owners.



3.2.2.5 e) Landscaped community walls and fences enhance neighborhood appearance.

EXHIBIT 3-3: WALLS AND FENCES**Figure A: Community Walls and Fences****Figure B: View Fences**

NOTE: The walls and fences depicted are conceptual in nature and are subject to modification during the plan review process.

*Decorative pilasters, open cul-de-sacs, view fencing, trail connections, or variable wall heights required ever 500 ± along arterials and collectors.

3.2.2.6 Single Family Residential Neighborhood Entry

- a) A neighborhood entry treatment shall occur at the primary entry to each neighborhood. Treatments may incorporate a local historical theme similar to that of Community Gateways but on a smaller scale.
- b) Entries shall incorporate the following: (Refer to photographic example to the right.)
- Ornamental trees
 - Groundcover or turf
 - Native materials designed to look natural and wild
 - Distinctive historical architectural elements
- c) Open spaces or pocket parks should be located at the terminus point of the entry road.
- d) Raised planted medians may be used at neighborhood entries. (Refer to photographic example to the right.)



3.2.2.6 b) Raised planted medians calm traffic and pocket parks provide a neighborhood entry feature.



3.2.2.6 d) Landscaping at the entry point to individual neighborhoods sets the theme and image for the neighborhood.



Kiley Ranch Homestead sets the architectural background for single family residential neighborhoods.



Visually interesting senior retirement facility enhances a sense of community.



Architectural enhancement of facades provides contemporary and interesting design statement.



Contemporary multi-residential architectural provides a strong design statement.

3.3 ARCHITECTURAL STANDARDS AND GUIDELINES

3.3.1 Background

The purpose of these architectural guidelines is to provide general design criteria and guidance for the development of the mixed use residential (including single family attached and detached and multi-residential projects) of Kiley Ranch North Phase Two. The guidelines are not intended to be restrictive, but rather promote both visual compatibility and variety in a community setting achieved by utilizing complementary, traditional and contemporary architectural styles. The intended result is a high level of design direction and quality.

3.3.2 Architectural Theme

While a traditional American small town architectural vernacular has been chosen to characterize the single family residential neighborhoods, multi residential neighborhood areas including group residential care facilities may utilize a more contemporary architectural style. The goal is to provide strong imaging and branding in a clean and increasingly sophisticated manner that parallels project expansion needs and diversity in the region. Ground level materials and tones may be selected to work in concert with the palette of the entire Kiley Ranch North community.

The application of these architectural guidelines and standards to individual development projects will be reviewed and approved by the City of Sparks through site plan reviews. The following sections provide guidelines and standards that will aid in the creation of a successful and enduring community.

3.3.3 Multi Residential Architecture

The architecture of multi-residential (including group residential care, assisted care or retirement facilities) projects shall be visually interesting, contemporary in style and provide a strong design statement, as well as a sense of identity for the community. (Refer to examples to the left)

3.3.3.1 Multi Residential Building Mass and Form

- a) Visual interest shall be created in building facades through the incorporation of wall plan projections or recesses that are a minimum of two (2) feet in depth. Long flat expanses of walls over 55 feet that do not incorporate color, texture or material change, plane projections or recesses are not allowed.

- b) Articulated facades shall be used on all sides of the building. Ground floor facades shall have defined entry areas, pilasters, covered areas, fenestration, arcades or other pedestrian scaled features. (Refer to photographic example to the right.)
- c) Buildings shall include architectural features such as plazas, gardens, courtyards and patterns that provide pedestrian scale visual interest.
- d) Multiple buildings, if provided, shall be designed to be compatible with a unified appearance of consistent building materials, texture, color or design. Varied building heights and sizes with clustered designs and pedestrian connections are encouraged.



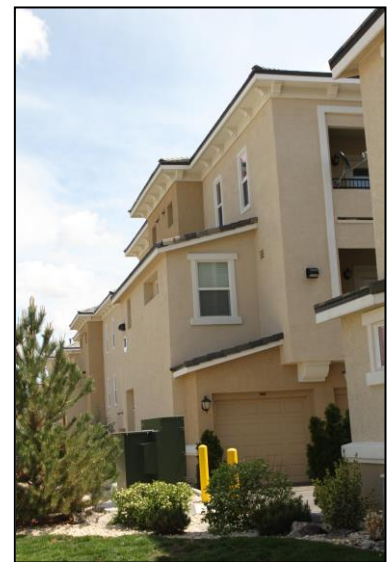
3.3.3.1 b) Facade articulation such as the use of dormer windows add richness to both the structure and the streetscape.

3.3.3.2 Multi Residential Building Entryways

- a) Entryway design elements and variations shall give orientation to the users, visitors and employees.
- b) Buildings shall have clearly, highly visible entrances featuring at least four (4) of the following unless the City of Sparks determines that better design solutions are presented to satisfy the design intent:
 - canopies, porticos, or awnings
 - unique roof expressions including overhangs and varied roof forms
 - innovative use of exposed structural elements
 - recesses/projections (min 2') for front (main entrance to the building) elevations and 6 inches for side and rear elevations
 - arcades
 - raised and corniced building forms with parapets above the door
 - peaked roof form elements
 - arches
 - outdoor patios
 - architectural details such as tile stone or brick work, molding, and trim work
 - integral planters or wing walls that incorporate landscaped areas and/or places for sitting
 - architecturally compatible lighting fixtures.
- c) Corner entryways may be highlighted with towers, angled doors or deep-set doors.



3.3.3.2 a, b) Buildings that include unique roof expressions, entries and arches add visual interest to multi-residential projects.



3.3.3.2 b) Varied roofs, window location and trim elements provide interest to buildings.



3.3.3.3 a, b) Varying roof profiles reduce the scale of buildings.



3.3.3.3 a, b, d) Roof profiles and attention to detail on the underside of eaves enhances cohesive architecture.

- d) Color, signage, material accents, architectural features, and/or awnings should be used to highlight entryways.

3.3.3.3 Multi Residential Roof Form

- a) Variations in rooflines or architectural features shall be used to add interest to and reduce the scale of large buildings. All roofs shall be pitched. Shed roof designs, however, may be used.
- b) The visible roof profile elements shall incorporate horizontal and vertical offsets, elevation changes and varying roof overhangs in proportion to building size where possible for a cohesive design statement. Elemental form changes are encouraged, interrelating upper flat forms with varying sloped and pitched designs.
- c) All rooftop equipment shall be screened from public view at street level and from parking areas. Where screening is not practical equipment shall be painted to match the primary roof or building color or screened by other methods as approved by the City of Sparks.
- d) The underside of all eaves shall be constructed of a material complementary to the roof and building. Curved elements, as well as tower elements may be included where complementary to the overall development.
- e) Roof materials shall include slate or simulated slate, ceramic tile, concrete tile, architectural grade fiberglass, architectural grade composition shingles or equivalent materials approved by the City of Sparks Administrator.

3.3.3.4 Multi Residential Accent Elements

- a) Accent medallions, inset or framed may be used in large expanses of walls (over 55 feet in length) at a scale appropriate to the building. The material for these shall be complementary to the design. There shall be articulation on all sides of building, including vertical and/or horizontal.
- b) Building wainscots are encouraged for large expanses of wall surfaces over 55 feet in length.
- c) All doors, windows and openings shall be trimmed with a finished detail. Finishes shall be complementary to the building design.

- d) Exterior building wall finishes shall consider at least two blends of varying materials besides the predominate exterior building material. These finishes may include a mix of plaster, stone, glass, tile, color bands, window trim, wood and/or brick and must be provided on all sides of the building.

3.3.3.5 Multi Residential Materials and Colors

- a) Buildings shall be evaluated as individual but related components essential to the overall design of the complex. Materials and colors of all buildings shall be compatible. Each material and color will become part of a design palette which will ultimately strengthen and communicate the theme to the residential community.
- b) Buildings shall incorporate a minimum of two building material types from the list below to the approval of the Administrator. Predominant exterior building materials shall be of high quality. These may include, but are not limited to:
- brick or masonry products
 - stained, painted or weathered wood/cementitious products such as heavy timbers or stock lumber
 - tinted, textured stucco or dryvit
 - glass (including reflective, mirror)
 - metal such as corrugated, battened or standing panelized systems; performed painted or stained metal shapes
 - stone veneer/cultured stone
 - other native stone
 - integral color split face or rough cut concrete masonry units
- c) Accent colors may be used to emphasize special façade elements in order to achieve an aesthetically appealing environment while maintaining the ability to stand out and attract attention at focal points, such as entries.
- d) Facades shall generally utilize low reflective palette colors in broad expanses. The use of high intensity, very dark or fluorescent colors is discouraged. Metallic colors, however, are allowed.
- e) Building trim and accents may feature a brighter, more intense palette of colors use to direct focus toward important building elements.
- f) The following exterior building materials are not allowed:
- exposed neon on building facades for decorative purposes
 - basic non-dimensional asphalt singles
 - tilt-up concrete panels
 - smooth face block especially without integrated color



3.3.3.5 b) Materials and color compatibility adds to the attractiveness of multi-residential projects.



3.3.3.5 b, c, d, e) Accent colors and building materials enhance building facades.



3.3.3.5 c, d) Façade color and accent trim utilizing low reflective palette colors provide an attractive development.

3.3.4 Single Family Residential

One important goal of these guidelines and standards is to create a streetscape possessing both functional and visual variety for single family attached or detached projects. The architectural guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where nearly identical buildings line the streets without variation in placement and architecture form are discouraged. The application of detail and character to the architecture should be as authentic as possible to avoid the artificiality of “stage front” architecture.

The guidelines provide general goals with regard to architectural elements with the intent of explaining their context to the overall design character of the community.

3.3.4.1 Single Family Residential Building Mass and Form

- a) A minimum of three (3) distinctive floor plans shall be used within each subdivision. A subdivision with twenty (20) or less lots must have at least two (2) distinctive floor plans.
- b) The architectural detailing similar to that of the front elevations shall be utilized on all sides of the home.
- c) Any building addition or accessory building(s) (over 200 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.
- d) The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through varied setbacks, floor plans, facade detailing and rooflines.
- e) The stepping back or change in materials and color of a second story can be used to add variety to homes and the street. (Refer to photographic example to the left.) The second story can be set back in relation to the garage face below it. If building form is viewed as a series of interlocking masses rather than a single volume, a more desirable design solution will result.



3.3.4.1 e) First and second stories are differentiated by color and materials.

3.3.4.2 Single Family Residential Roof Form

- a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the homes chosen architectural style. All roofs shall be pitched. Shed roof designs, however, are permitted. (Refer to examples to the right.)
- b) Roof materials shall include slate or simulated slate, ceramic tile, concrete tile, architectural grade fiberglass, architectural grade composition shingles or equivalent materials approved by the City of Sparks Administrator.

3.3.4.3 Single Family Residential Materials and Colors

- a) The materials and colors used in residential dwellings shall reflect the general theme of architectural style chosen for the subdivision.
- b) Exterior elevations shall demonstrate a unified appearance. The interface between the home and the garage shall use complementary materials and/or colors in keeping with the architectural style. (Refer to photographic example to the right.)
- c) Change in materials or color shall occur at changes in plane or at a logical break on the façade, so as not to give the appearance of artificial quality in keeping with the architectural style.
- d) Homes shall incorporate a minimum of two building material types from the list below to the approval of the Administrator. Predominant exterior building materials shall be of high quality. These may include, but are not limited to:
 - brick or masonry products
 - stained, painted or weathered wood/cementitious products
 - tinted, textured stucco or dryvit
 - glass
 - stone veneer/cultured stone
 - other nature stone

3.3.4.4 Single Family Residential Support Structures

Residential exterior support structures such as HVAC and satellite dishes can have a negative impact on the appearance of the streetscape and neighborhood character. The impacts of these structures shall be minimized.

- a) Exposed gutters shall be colored to match the roof or fascia material. Exposed downspouts shall be colored to match the surfaces to which they are attached.



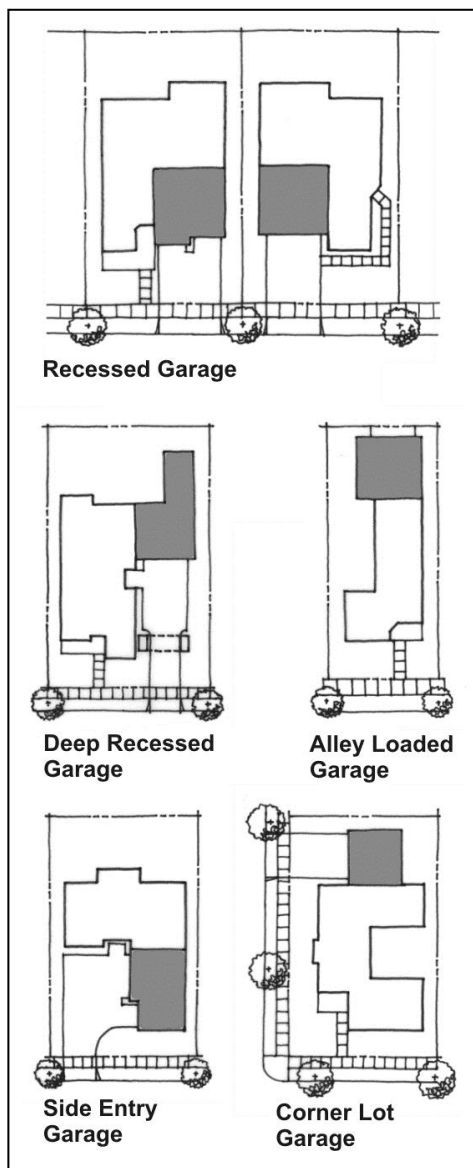
3.3.4.2 a) Varied roof planes including shed roof design and second story facade details add visual interest.



3.3.4.3 b) Richly detailed surfaces, modulated facades and varied roofline create attractive, street-facing facade.



3.3.4.5 a) Recessed garages give importance to the entry and create a pedestrian friendly neighborhood.



*Note: Single family detached examples are shown, however similar concepts would apply for single family attached projects.

3.3.4.5 b) There are various plotting techniques to reduce the impact of garages.

- b) All HVAC, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape lighting shall be screened with landscaping or architectural features integrated into the home design.
- c) Skylights and solar panels shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze. White glazing is prohibited. The framing materials shall be colored to match or blend with the roof.
- d) Space shall be provided in an adjacent side yard or interior portion of the garage to handle the size of at least two recycling/trash containers.
- e) The use of porch structures is encouraged. They shall be integrated into the building form to add articulation to otherwise large unbroken wall masses.
- f) Satellite dishes and home radio antennas shall be screened from any public right-of-way.
- g) Boat and recreational vehicle storage shall be limited to rear and side yards and be screened from any public or private right-of-ways.

3.3.4.5 Single Family Residential Garages

- a) The home and the yard rather than the garage shall be the primary emphasis of the street elevation. (Refer to photographic example to the left.) Garages facing the street shall be setback five (5) feet from the front building facade.
- b) Each subdivision house plan shall incorporate one of the garage design techniques listed below and each neighborhood shall incorporate at least two of these techniques to reduce the emphasis of the garage on the street. (Refer to examples to the left.)

Recessed Garage

Setting the garage back a minimum of five (5) feet in relationship to the front of the house reduces the overall visual mass of the garage.

Deep Recessed Garage

Setting the garage back to the middle or rear of the lot. This creates a more pedestrian-friendly street environment by allowing the homes primary entryway to address the street.

Alley Loaded Garage

The use of alleyways locates garages off the street and creates a more traditional street scene, without garage facades fronting the street. The garage off the alley shall have architectural features that compliment the main structure.

Side Entry Garage

This design technique breaks up the continuous view of garage doors along the street. The façade of the garage facing the street shall incorporate architectural features, windows, faux windows, or other details.

Corner Lot Garage

This garage treatment is derived out of a plan layout where the garage changes from an interior lot plan to a corner lot plan.

4 CONSTRUCTION, OPERATION AND MAINTENANCE

4.1.1. Clean Job Site

All construction job sites within the Kiley Ranch North Phase Two are to be maintained in a clean and orderly fashion. Each developer/builder shall adopt procedures to suit his individual circumstances.

If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the City of Sparks has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the owner.

4.1.2 Erosion Control Plan and Storm Water Pollution Prevention Plan

The Erosion Control Plan and SWPPP shall include at a minimum the following:

1. Erosion control plan for the entire site or area of disturbance. This plan shall note all Best Management Practices (BMP's) to be used on site, along with all descriptive notes etc.
2. A Reclamation bond based on an approved Exhibit A of the estimated cost to revegetate the site
3. A Storm Water Pollution Prevention Plan that shall include the following information:
 - a. Facility Owner/operator and other applicant information
 - b. Project Site information, including pre- and post-site conditions and land uses, runoff coefficients, sequence of construction activities total area disturbed, etc.
 - c. Existing soil and water quality information
 - d. Site Maps
 - e. Storm water discharge points and receiving waters
 - f. List of Best Management Practices
 - g. Inspection and maintenance procedures and a log of all inspection activities, changes in BMP's, weather condition changes, etc.

These requirements will apply to the development site itself and any surrounding property that may be used as a borrow or stockpile site for excess soil cut or fill.

4.1.3 Temporary Uses and Structures

All temporary uses and/or structures shall be maintained in a clean and orderly fashion. Storage of vehicles or machinery required for set-up or delivery shall not be kept onsite. Adequate parking, trash, and restroom facilities shall be provided for the expected attendance. All components required for any event shall be removed and the site cleaned up within 24 hours of the close of each event or use. If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the City of Sparks has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the sponsor.

4.1.4 Construction Yards

Within the Kiley Ranch North Phase Two, construction yards will be necessary. The following requirements will apply to all zoning classifications within the planned development.

1. Definitions: Construction yard is a temporary area used for the storage of construction materials, supplies, equipment, tools, stock pile of useable construction materials and other items as permitted including temporary storage containers, construction trailers and temporary office trailers.
2. Proposed construction yards shall be associated to a specific project with an approved building permit issued for grading, construction, remodel and/or demolition.
3. Construction yards shall be supervised by one (1) contractor who will be responsible for enforcing compliance of these standards. The contractor shall be responsible for compliance of the construction yard to all applicable codes.
4. Construction yards shall be fenced and located on private property out of public view whenever possible to the approval of the administrator and shall not be placed in required parking spaces or block pedestrian/vehicular access.
5. Construction yards shall be removed prior to a final inspection of the last building in a non-residential project and for the last structure in a residential project or final approval for the project.
6. The contractor shall be required to provide curb cuts for all egress/ingress areas onto a paved street. To prevent mud/dirt from transferring trucks, vehicles, and equipment onto the paved street, the contractor shall install a surface treatment, such as gravel or base at all egress/ingress points from the yard a minimum of 50 feet in length to the street access to the approval of the administrator.
7. A project site with physical constraints may utilize an alternative off-site property for a construction yard subject to site plan review process. The contractor shall be required to reclaim the alternative off-site property to its original condition prior to final inspection/issuance of a certificate of occupancy for the associated project to the approval of the administrator. Site reclamation may include site clean-up and/or revegetation with temporary irrigation. Bonding may also be required to verify revegetation within (3) three years.
8. The developer shall limit all construction and construction-related activities to between the hours of 7:00 a.m. through 7:00 p.m., Monday through Friday and 9:00 a.m. to 5:00 p.m., Saturday. There shall be no construction on Sundays in residential areas. The developer shall install signs at all access points to the project that clearly indicate these limited hours of activity on-site prior to the start of any construction-related activities. The developer shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed, the developer shall remove these signs.
9. The developer shall designate to the administrator a project contact person responsible/authorized to correct problems regarding the project on a 24-hour/7 days a week basis. The developer shall designate the project contact person to the administrator prior to issuance of a grading permit for the project.
10. The developer may construct a fence around the construction yard that is higher than (6) six feet and use barbed wire or concertina wire on the top of the fence with the approval of the City of Sparks building department and Administrator.