STANDARD ENGINEERING NOTES

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
- PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, LIGHTS, IRRIGATION ETC.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO THE START OF MAINTENANCE. SHOULD EXISTING LOCATIONS ELEVATIONS. CONDITION. OR PAVEMENT CONFLICT WITH ADA OR NCAA PLAYING FIELD REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER CONTACT IMMEDIATEL FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED
- 6. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
- THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO MAINTENANCE, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED AND TRANSMITTED TO THE ENGINEER.
- ANY INSPECTION BY ANY JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
- ANY HAULING PERMITS REQUIRED ARE TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 10. ANY WATER ACCESS IS TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, FIRE HYDRANT ACCESS MUST BE PERMITTED AND METERED BY THE WATER AUTHORITY AT NO ADDITIONAL COST TO THE OWNER.
- 11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF WORK.
- 12. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION DOCUMENTS PROVIDED WITH THIS PLAN SET.

STANDARD NOTES

- WORK HOURS: THE CONTRACTOR SHALL LIMIT ALL WORK AND RELATED ACTIVITIES TO THE HOURS DICTATED IN THE SPECIFICATIONS OR LOCAL ORDINANCES WHICHEVER IS MORE STRINGENT. ALL DEVIATIONS FROM THESE STATED TIMES MUST BE COORDINATED WITH THE CITY OF SPARKS PROJECT MANAGER 72 HOURS IN ADVANCE.
- DUST CONTROL: PRIOR TO THE COMMENCEMENT OF ANY WORK CONTRACTOR SHALL SUBMIT TO THE WASHOE COUNTY HEALTH DISTRICT - AIR QUALITY MANAGEMENT (WCHD-AQM) A PLAN FOR DUST CONTROL. THE PLAN SHALL BE IN ACCORDANCE WITH NEVADA STATE LAW. WHEN APPROVED BY THE CITY, SHALL BE REFERRED TO AS THE DUST CONTROL PLAN AND SHALL BE DEEMED A PART OF THIS AGREEMENT.
- WORK FENCING: CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN A TEMPORARY FENCED AREA ENCOMPASSING ALL MAINTENANCE RELATED ACTIVITIES. FENCING TO BE CHAIN LINK (NO BARB WIRE) A MINIMUM 6' HEIGHT WITH LOCKABLE GATES. IT SHALL ENCLOSE THE ENTIRE STAGING/STORAGE AREA, MAINTENANCE ACTIVITY, VEHICLES, EQUIPMENT, AND ALL MATERIALS. THE FENCE WILL REMAIN IN PLACE UNTIL THE OWNER'S REPRESENTATIVE REQUESTS REMOVAL. THE GATES SHALL BE LOCKED BY THE CONTRACTOR AT ALL TIMES THAT THE CONTRACTOR IS NOT ON SITE.
- SAFETY: THE CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, COUNTY, AND CITY OF SPARKS SAFETY REQUIREMENTS. ALL VEHICULAR TRAFFIC ENTERING OR DEPARTING AREAS NOT ENCLOSED WITHIN THE FENCED AREA OR ESTABLISHED PARKING LOT SHALL BE ESCORTED ON FOOT BY THE CONTRACTORS PERSONAL. THIS ESCORT WILL TO ASCERTAIN NO STUDENTS OR STAFF ARE IN HARMS WAY AND BE MAINTAINED UNTIL THE VEHICLE HAS ATTAINED A SAFE LOCATION OR THE PARKING LOT
- UTILITIES: ALL REQUIRED UTILITY SHUT-DOWNS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROVAL OF THE CITY OF SPARKS PROJECT MANAGER 72 HOURS IN ADVANCE VIA EMAIL. SHUT-DOWNS WILL INCLUDE AN ESTIMATE OF THE REQUIRED DOWN TIME. A DISTURBANCE PERMIT MUST BE SUBMITTED TO THE CITY OF SPARKS PROJECT MANAGER.
- COORDINATION: CONTRACTOR SHALL NOT CONVERSE OR COORDINATE WITH THE CITY OF SPARKS WITHOUT PERMISSION OF THE CITY OF SPARKS PROJECT MANAGER. ALL PROJECT COORDINATING, MODIFICATIONS OR CONTRACTUAL ISSUES MUST BE MADE THROUGH THE CITY OF SPARKS PROJECT MANAGER AND ENGINEER.

CITY OF SPARKS GOLDEN EAGLE REGIONAL PARK FIELDS 1 - 6 SYNTHETIC TURF INFIELD RESURFACING PROJECT





LOCATION MAP N.T.S.

SITE ACCESS AND LOGISTICS N.T.S.

PF03.2 PF04

PF00 PF01.

PF01.2

PF02.1

PF02.2

PF03.1

OWNER

ENGINEER

(602) 635-4226

BASIS OF BEARING THE BASIS OF BEARING FOR THIS SURVEY IS BASED ON THE NEVADA STATE PLANE COORDINATE SYSTEM OF 1983, WEST ZONE, NAD 83/94, DISTANCES SHOWN ARE GROUND DISTANCES USING A PROJECT COMBINED GRID TO GROUND SCALE FACTOR OF 1.000197939.

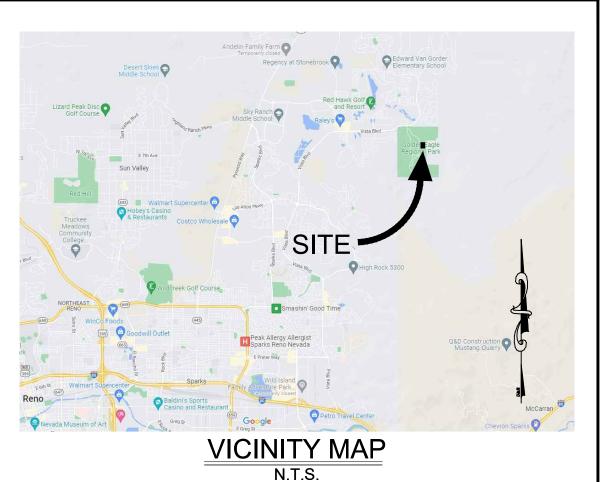
STANDA

STANDA

STANDA

STANDA

STANDA



SHEET INDEX

COVER SHEET EXISTING CONDITIONS & DEMOLITION PLAN - FIELDS 1 - 4 EXISTING CONDITIONS & DEMOLITION PLAN - FIELDS 5 & 6 SURFACING PLAN - FIELDS 1 - 4 SURFACING PLAN - FIELDS 5 & 6 **GRAPHICS TYPICAL - FIELDS 1 - 4** GRAPHICS TYPICAL - FIELDS 5 & 6 DETAILS

- JON R. ERICSON, PE, PTOE **CITY ENGINEER CITY OF SPARKS** 431 PRATER WAY **SPARKS, NV 89431**
- ANTHONY STEVENSON LLOYD CONSULTING GROUP LLC 7349 N. VIA PASEO DEL SUR SUITE 515-324 SCOTTSDALE, AZ 85258 EMAIL: ASTEVENSON@LLOYDENGINEERS.COM

SCOPE OF WORK

THE PROJECT SCOPE OF WORK INCLUDES REMOVAL OF EXISTING BASEBALL FIELD SYNTHETIC TURF INFIELD, AND INSTALLATION OF NEW SYNTHETIC TURF FIELD SYSTEM (INCLUDING SYNTHETIC TURF, AND INFILL).

BENCHMARK

DATUM: NAVD 88 PROJECT BENCHMARK = CITY OF SPARKS BENCHMARK NO. 110 HAVING AN ELEVATION OF 4509.99'

STANDARD BMP NOTES

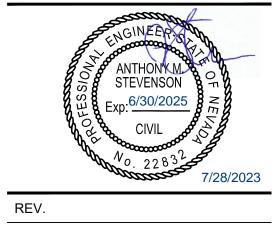
| THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF THE CITY OF RENO AS A RESULT OF MAINTENANCE ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR MAINTENANCE PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM. |
|---|
| ADDITIONAL SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK. |
| TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000. |
| AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPS WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000. |
| ACCUMULATED SEDIMENT IN BMPS SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT |

WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

Z:\Shared\Project\22-186 GERP 5 & 6\Construction Documents\22186 PF00-COVER.dwg 7/28/2023 12:41 PM







GOLDEN EAGLE REGIONAL PARK FIELDS 1 - 6

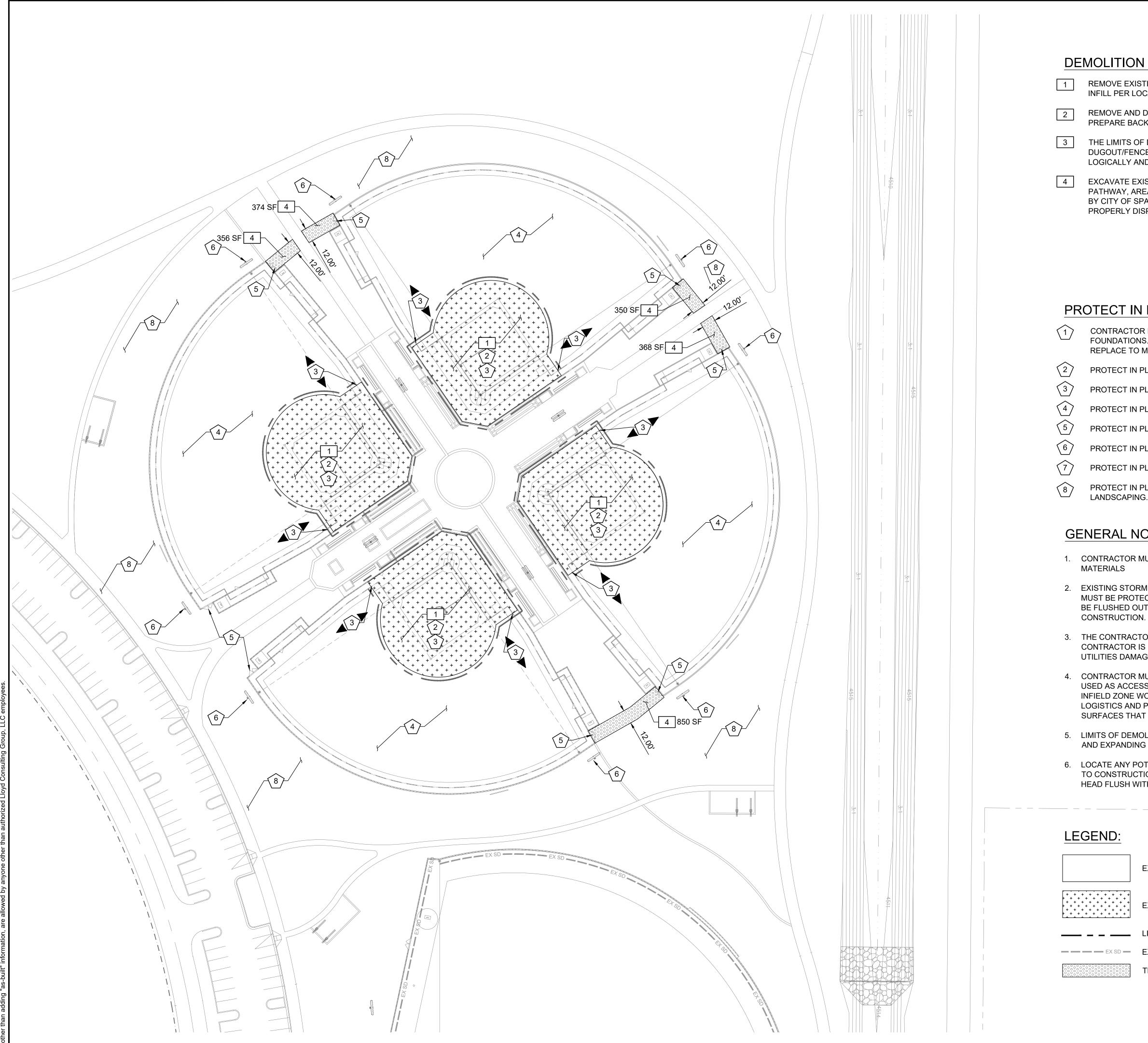
6400 VISTA BOULEVARD

SPARKS, NV

| DESIGNED: | AS/SW |
|-----------|-----------|
| DATE: | JULY 2023 |
| DRAWN: | SW |
| PROJ. | 22-186 |
| SCALE: | AS SHOWN |

COVER SHEET





DEMOLITION NOTES:

REMOVE EXISTING SYNTHETIC TURF AND INFILL. DISPOSE OF TURF AND INFILL PER LOCAL CODES AND REQUIREMENTS.

REMOVE AND DISPOSE OF EXISTING HOME PLATE AND CONCRETE FOOTING. PREPARE BACKFILL TO COMPACT AND LEVEL WITH AGGREGATE BASE.

THE LIMITS OF DEMOLITION SHALL ALIGN WITH THE EXISTING DUGOUT/FENCE STRUCTURE SO THAT THE NEW TURF ALIGNS WITH A LOGICALLY AND VISUALLY CORRECT TERMINATION FROM EXISTING TO NEW.

EXCAVATE EXISTING TURF AND SOILS TO A DEPTH OF 10" FOR NEW PAVER PATHWAY, AREA OF EXCAVATION PER PLAN. FINAL LIMITS TO BE APPROVED BY CITY OF SPARKS PERSONNEL PRIOR TO CONSTRUCTION. REMOVE AND PROPERLY DISPOSE OF SPOILS. RELOCATE ANY IRRIGATION AS NEEDED.

PROTECT IN PLACE NOTES:

CONTRACTOR MUST PROTECT IN PLACE EXISTING CONCRETE CURBS, FLATWORK, FOUNDATIONS. WHERE DAMAGED SECTIONS ARE FOUND, THE CONTRACTOR MUST REPLACE TO MATCH EXISTING CONDITIONS.

PROTECT IN PLACE EXISTING FIELD SUBGRADE.

PROTECT IN PLACE EXISTING FIELD SUBDRAINS AND TRENCHES.

PROTECT IN PLACE EXISTING SYNTHETIC TURF IN OUTFIELD.

PROTECT IN PLACE EXISTING FIELD ACCESS GATES.

PROTECT IN PLACE EXISTING SPORTS LIGHTING.

PROTECT IN PLACE EXISTING SOLAR ARRAY.

PROTECT IN PLACE EXISTING NATURAL GRASS, TREES, MOW CURBS, IRRIGATION, AND LANDSCAPING.

GENERAL NOTES:

1. CONTRACTOR MUST REMOVE AND DISPOSE OF ALL WEEDS AND LOOSE

2. EXISTING STORM DRAIN FACILITIES WITHIN THE LIMITS OF CONSTRUCTION MUST BE PROTECTED FROM CONSTRUCTION DEBRIS INTRUSION AND MUST BE FLUSHED OUT AND CLEANED BY THE CONTRACTOR AT THE END OF

3. THE CONTRACTOR MUST PROTECT IN PLACE ALL EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES DAMAGED DURING CONSTRUCTION.

4. CONTRACTOR MUST PROTECT EXISTING TURF TO REMAIN THAT WILL BE USED AS ACCESS AND TRAVEL WAY FROM MAINTENANCE GATES TO INFIELD ZONE WORK AREAS. OWNER MUST REVIEW AND APPROVE LOGISTICS AND PROTECTION PLAN TO AVOID DAMAGE TO PLAYING FIELD SURFACES THAT ARE REMAINING.

5. LIMITS OF DEMOLITION ARE TO BE 4' OUTSIDE INFIELD SKIN AREA ON ARC AND EXPANDING TO 12' AT FOUL LINE AS SHOWN ON ALL FIELDS.

6. LOCATE ANY POTENTIAL IRRIGATION HEADS WITHIN LIMITS OF FIELD PRIOR TO CONSTRUCTION. IF FOUND, CONTRACTOR MUST ABANDON AND BURY HEAD FLUSH WITH TOP OF STONE.

EXISTING SYNTHETIC TURF SURFACE TO REMAIN

EXISTING SYNTHETIC TURF SURFACE TO BE REMOVED

_____ LIMITS OF CONSTRUCTION

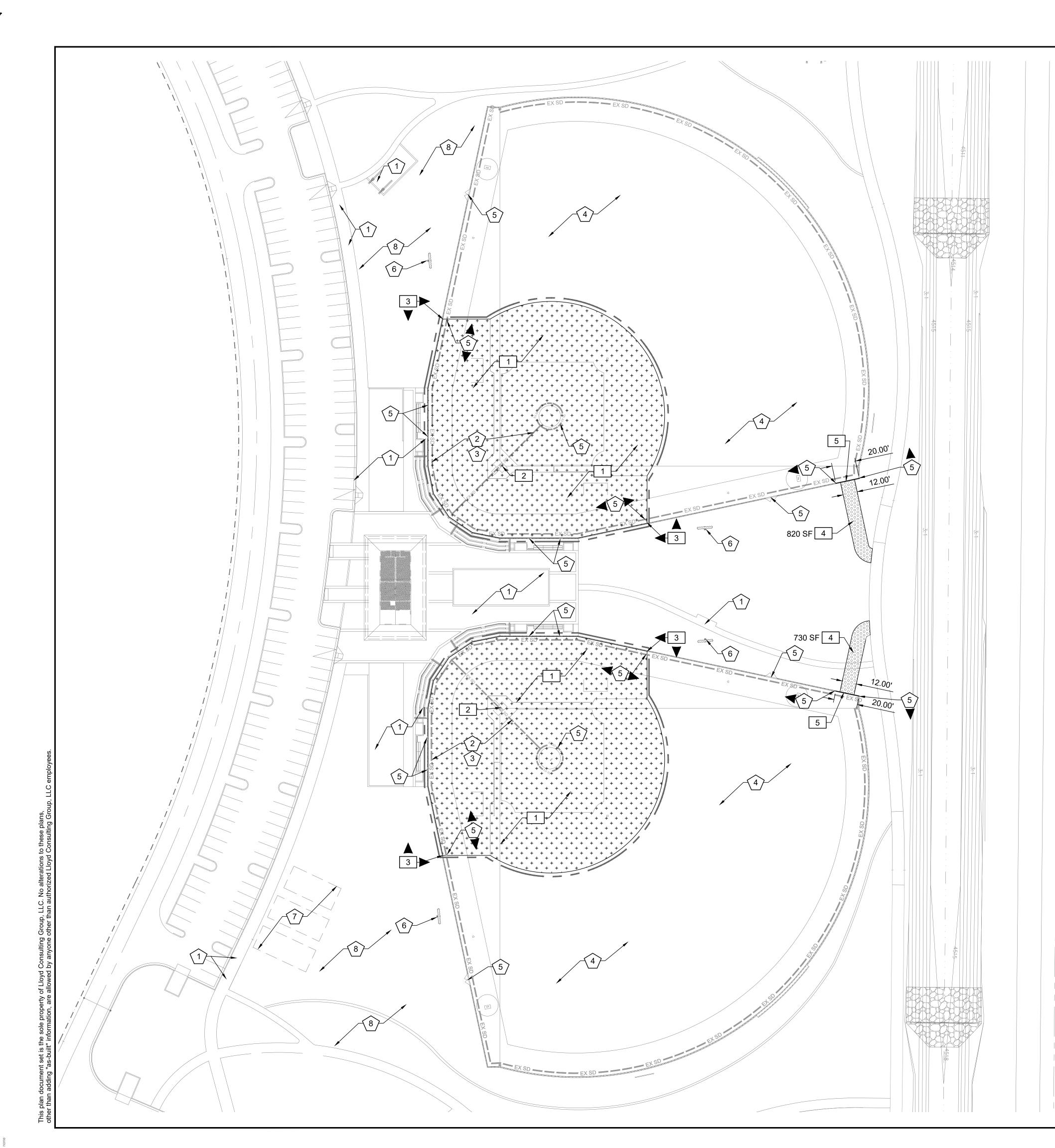
----- EX SD --- EXISTING UNDERGROUND PERIMETER DRAIN

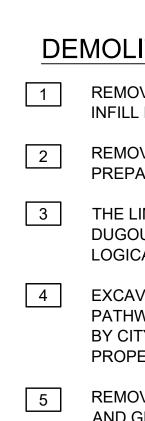
TEMPORARY CONSTRUCTION ACCESS ROAD TO FIELD



| | BID SET | |
|------------|---|---|
| | ANTHONY M STEVENSON CIVIL Vo. 22832 7/28/2023 | |
| | REV. | _ |
| | | _ |
| | | _ |
| | | _ |
| | | _ |
| | | _ |
| | | |
| | | |
| | GOLDEN EAGLE REGIONAL PARK FIELDS 1 - 6 | |
| | | |
| | REGIONAL PARK FIELDS 1 - 6 6400 VISTA BOULEVARD | |
| | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023 | |
| | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023DRAWN:SW | |
| | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023 | |
| | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023DRAWN:SWPROJ.22-186SCALE:1" = 40' | |
| | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023DRAWN:SWPROJ.22-186 | |
| 80 | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023DRAWN:SWPROJ.22-186SCALE:1" = 40'EXISTING CONDITIONS & DEMOLITION PLAN - | |
| 80 Feet | REGIONAL PARK FIELDS 1 - 6 6400 VISTA BOULEVARD SPARKS, NV DESIGNED: AS/SW DATE: JULY 2023 DRAWN: SW PROJ. 22-186 SCALE: 1" = 40' EXISTING CONDITIONS & DEMOLITION PLAN - FIELDS 1 - 4 DWG. NO. | |
| 1 | REGIONAL PARK FIELDS 1 - 66400 VISTA BOULEVARD SPARKS, NVDESIGNED:AS/SWDATE:JULY 2023DRAWN:SWPROJ.22-186SCALE:1" = 40'EXISTING CONDITIONS & DEMOLITION PLAN - FIELDS 1 - 4 | |

SCALE: 1" = 40'

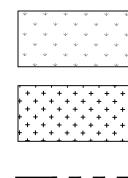




| $\left(1\right)$ | CONT FOUN REPL/ |
|------------------|-----------------------|
| 2 | PROT |
| $\overline{3}$ | PROT |
| 4 | PROT |
| 5 | PROT |
| 6 | PROT |
| $\overline{7}$ | PROT |
| 8 | PROT LAND |
| GE | NER |

- MATERIALS
- CONSTRUCTION.

LEGEND:



DEMOLITION NOTES:

REMOVE EXISTING SYNTHETIC TURF AND INFILL. DISPOSE OF TURF AND INFILL PER LOCAL CODES AND REQUIREMENTS.

REMOVE AND DISPOSE OF EXISTING HOME PLATE AND CONCRETE FOOTING. PREPARE BACKFILL TO COMPACT AND LEVEL WITH AGGREGATE BASE.

THE LIMITS OF DEMOLITION SHALL ALIGN WITH THE EXISTING DUGOUT/FENCE STRUCTURE SO THAT THE NEW TURF ALIGNS WITH A LOGICALLY AND VISUALLY CORRECT TERMINATION FROM EXISTING TO NEW.

EXCAVATE EXISTING TURF AND SOILS TO A DEPTH OF 10" FOR NEW PAVER PATHWAY, AREA OF EXCAVATION PER PLAN. FINAL LIMITS TO BE APPROVED BY CITY OF SPARKS PERSONNEL PRIOR TO CONSTRUCTION. REMOVE AND PROPERLY DISPOSE OF SPOILS. RELOCATE ANY IRRIGATION AS NEEDED.

REMOVE SECTION OF CHAINLINK FENCE SHOWN. REMOVE CENTER POST, AND GRIND DOWN TO FLUSH WITH CURB.

PROTECT IN PLACE NOTES:

TRACTOR MUST PROTECT IN PLACE EXISTING CONCRETE CURBS, FLATWORK, NDATIONS. WHERE DAMAGED SECTIONS ARE FOUND, THE CONTRACTOR MUST ACE TO MATCH EXISTING CONDITIONS.

FECT IN PLACE EXISTING FIELD SUBGRADE.

FECT IN PLACE EXISTING FIELD SUBDRAINS AND TRENCHES.

FECT IN PLACE EXISTING SYNTHETIC TURF IN OUTFIELD.

FECT IN PLACE EXISTING FIELD ACCESS GATES AND PERIMETER CHAIN LINK FENCING.

FECT IN PLACE EXISTING SPORTS LIGHTING.

FECT IN PLACE EXISTING SOLAR ARRAY.

FECT IN PLACE EXISTING NATURAL GRASS, TREES, MOW CURBS, IRRIGATION, AND SCAPING.

RAL NOTES:

1. CONTRACTOR MUST REMOVE AND DISPOSE OF ALL WEEDS AND LOOSE

2. EXISTING STORM DRAIN FACILITIES WITHIN THE LIMITS OF CONSTRUCTION MUST BE PROTECTED FROM CONSTRUCTION DEBRIS INTRUSION AND MUST BE FLUSHED OUT AND CLEANED BY THE CONTRACTOR AT THE END OF

3. THE CONTRACTOR MUST PROTECT IN PLACE ALL EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES DAMAGED DURING CONSTRUCTION.

4. CONTRACTOR MUST PROTECT EXISTING TURF TO REMAIN THAT WILL BE USED AS ACCESS AND TRAVEL WAY FROM MAINTENANCE GATES TO INFIELD ZONE WORK AREAS. OWNER MUST REVIEW AND APPROVE LOGISTICS AND PROTECTION PLAN TO AVOID DAMAGE TO PLAYING FIELD SURFACES THAT ARE REMAINING.

5. LIMITS OF DEMOLITION ARE TO BE 4' OUTSIDE INFIELD SKIN AREA ON ARC AND EXPANDING TO 12' AT FOUL LINE AS SHOWN ON ALL FIELDS.

6. LOCATE ANY POTENTIAL IRRIGATION HEADS WITHIN LIMITS OF FIELD PRIOR TO CONSTRUCTION. IF FOUND, CONTRACTOR MUST ABANDON AND BURY HEAD FLUSH WITH TOP OF STONE.

| ↓↓ | \rightarrow \rightarrow \rightarrow | →→→ | 7 7 7 | |
|-------------------------------|---|---|-------------|--|
| · + · · + · · + | ++++++ | + + + | + + + | |

EXISTING SYNTHETIC TURF SURFACE TO REMAIN

EXISTING SYNTHETIC TURF SURFACE TO BE REMOVED

_____ LIMITS OF CONSTRUCTION

----- EX SD --- EXISTING UNDERGROUND PERIMETER DRAIN

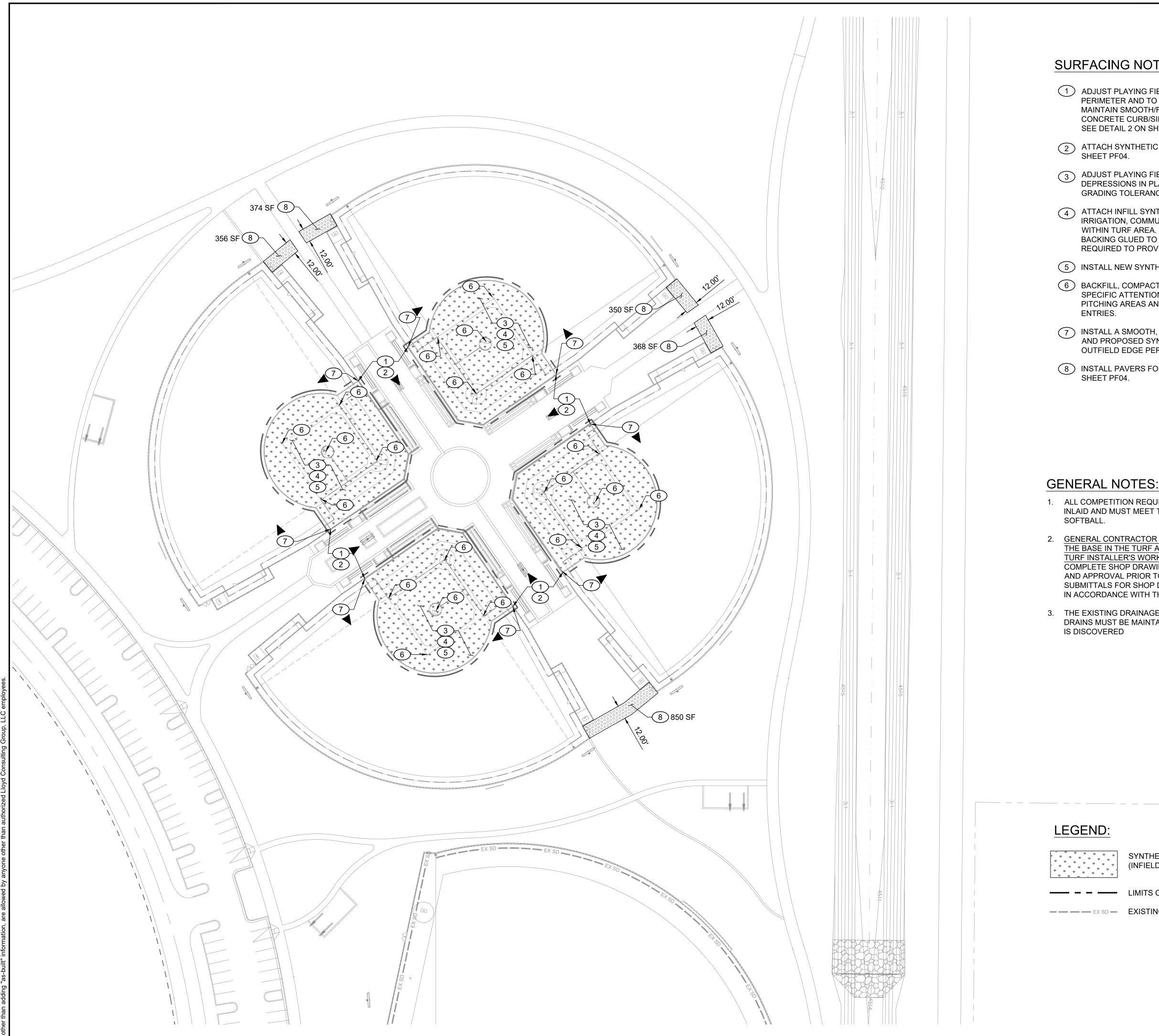
TEMPORARY CONSTRUCTION ACCESS ROAD TO FIELD



| BID SET | | |
|--|--|--|
| AT ST | SINEPRO NTHONY M 97 EVENSON 6/30/2025 CIVIL 0. 228 ³² 7/28/2023 | |
| REV. | | |
| | | |
| | | |
| | | |
| | | |
| REGION | EN EAGLE NAL PARK DS 1 - 6 | |
| | A BOULEVARD RKS, NV | |
| DESIGNED: | AS/SW | |
| DATE: DRAWN: | JULY 2023 SW | |
| PROJ. SCALE: | 22-186 1" = 40' | |
| EXISTING CONDITIONS & DEMOLITION PLAN - FIELDS 5 & 6 | | |
| DWG. NO. PF01.2 | | |

Feet

SCALE: 1" = 40'



SURFACING NOTES:

1 ADJUST PLAYING FIELD BASE ELEVATIONS AT FIELD PERIMETER AND TO NEWLY INSTALLED NAILER BOARD TO MAINTAIN SMOOTH/FLUSH TRANSITION BETWEEN TURF AND CONCRETE CURB/SIDEWALK WITH NO GRADING GAP OR LIP. SEE DETAIL 2 ON SHEET PF04.

2 ATTACH SYNTHETIC TURF TO NAILER BOARD PER DETAIL 2 ON SHEET PF04.

3 ADJUST PLAYING FIELD BASE TO CORRECT ANY RIDGES OR DEPRESSIONS IN PLAYING FIELD BASE THAT DO NOT MEET GRADING TOLERANCES PER THE SPECIFICATIONS.

(4) ATTACH INFILL SYNTHETIC TURF TO EDGE OF ALL EXISTING IRRIGATION, COMMUNICATION OR OTHER UTILITY BOX EDGES WITHIN TURF AREA. ALL BOXES MUST HAVE TURF WITH FOAM BACKING GLUED TO LIDS AND BE RAISED OR LOWERED AS REQUIRED TO PROVIDE SMOOTH PLAYING SURFACE.

5 INSTALL NEW SYNTHETIC TURF PER DETAIL 1 ON SHEET PF04.

(6) BACKFILL, COMPACT AND LEVEL WITH AGGREGATE BASE. SPECIFIC ATTENTION MUST BE GIVEN TO HOME PLATE AREAS, PITCHING AREAS AND BASES, AS WELL AS DUGOUT AND GATE

(7) INSTALL A SMOOTH, FLUSH TRANSITION BETWEEN EXISTING AND PROPOSED SYNTHETIC TURF AND BASE STONE AT OUTFIELD EDGE PER DETAIL 5 ON SHEET PF04.

(8) INSTALL PAVERS FOR ACCESS TO FIELDS PER DETAIL 3 ON SHEET PF04.

1. ALL COMPETITION REQUIRED STRIPES AND MARKINGS MUST BE INLAID AND MUST MEET THE LATEST REQUIREMENTS OF USA

GENERAL CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF THE BASE IN THE TURF AREAS AND FOR COORDINATION WITH THE TURF INSTALLER'S WORK. TURF INSTALLER MUST SUBMIT COMPLETE SHOP DRAWINGS AND COLOR SAMPLES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF SYNTHETIC TURF. SUBMITTALS FOR SHOP DRAWINGS AND COLOR SAMPLES MUST BE IN ACCORDANCE WITH THE SPECIFICATIONS.

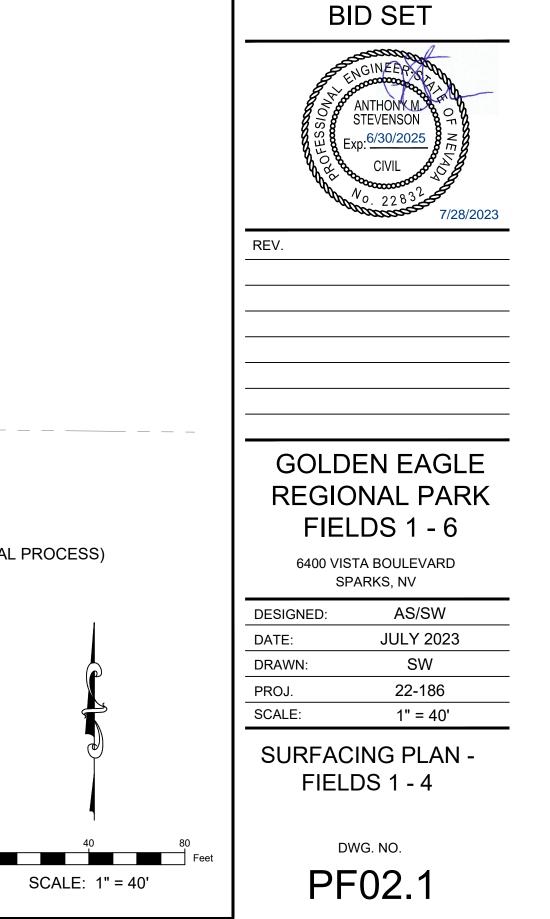
3. THE EXISTING DRAINAGE SYSTEM AND PERIMETER TRENCH DRAINS MUST BE MAINTAINED OR REPAIRED WHERE EVER DAMAGE

SYNTHETIC TURF SURFACE (INFIELD SKIN COLOR TBD BY OWNER DURING SUBMITTAL PROCESS)

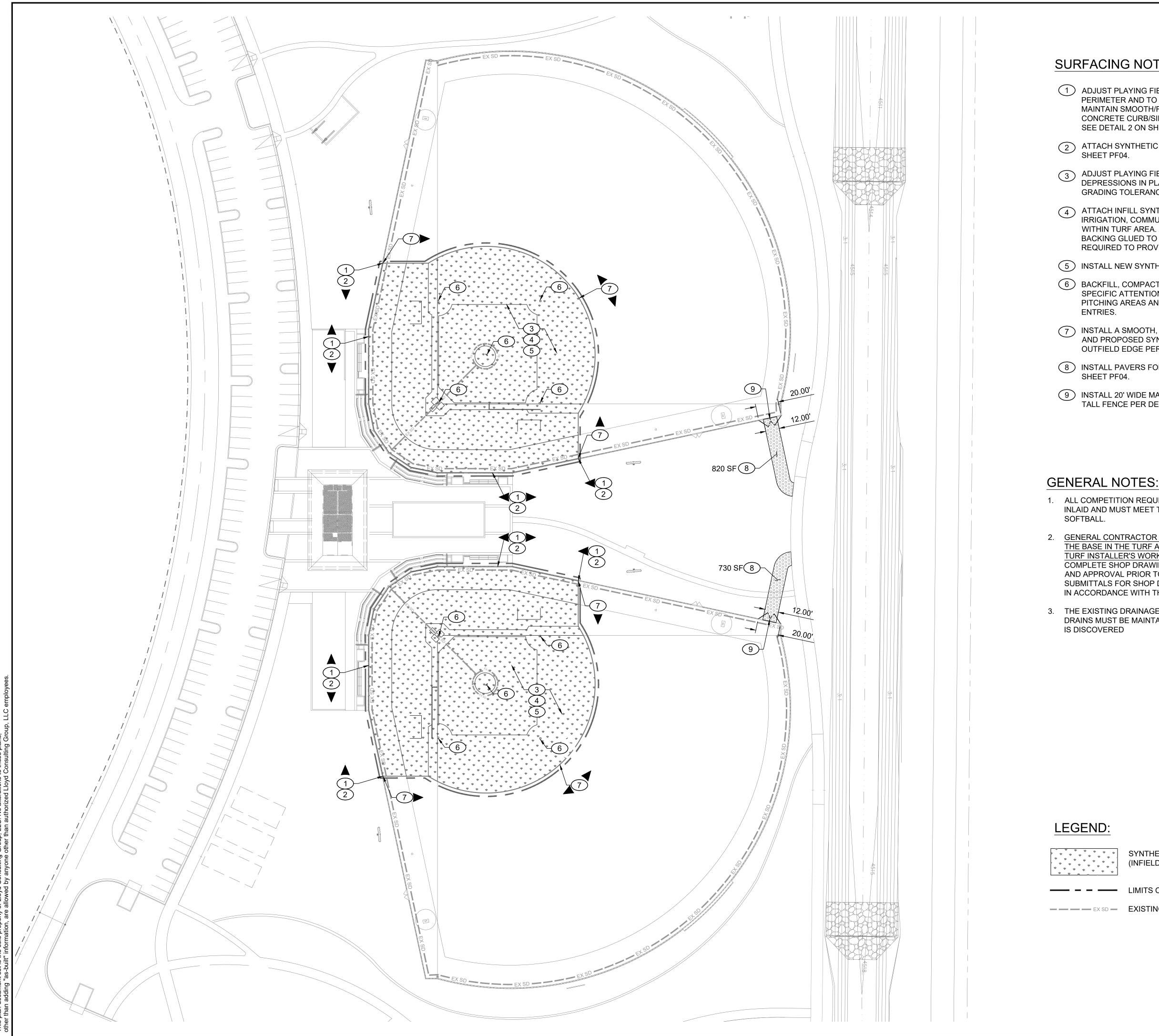
LIMITS OF CONSTRUCTION

----- EXISTING STORM DRAIN





Z:\Shared\Project\22-186 GERP 5 & 6\Construction Documents\22186 PF02.1-SURFACING.dwg 7/28/2023 12:42 PM



SURFACING NOTES:

1 ADJUST PLAYING FIELD BASE ELEVATIONS AT FIELD PERIMETER AND TO NEWLY INSTALLED NAILER BOARD TO MAINTAIN SMOOTH/FLUSH TRANSITION BETWEEN TURF AND CONCRETE CURB/SIDEWALK WITH NO GRADING GAP OR LIP. SEE DETAIL 2 ON SHEET PF04.

2 ATTACH SYNTHETIC TURF TO NAILER BOARD PER DETAIL 2 ON SHEET PF04.

3 ADJUST PLAYING FIELD BASE TO CORRECT ANY RIDGES OR DEPRESSIONS IN PLAYING FIELD BASE THAT DO NOT MEET GRADING TOLERANCES PER THE SPECIFICATIONS.

(4) ATTACH INFILL SYNTHETIC TURF TO EDGE OF ALL EXISTING IRRIGATION, COMMUNICATION OR OTHER UTILITY BOX EDGES WITHIN TURF AREA. ALL BOXES MUST HAVE TURF WITH FOAM BACKING GLUED TO LIDS AND BE RAISED OR LOWERED AS REQUIRED TO PROVIDE SMOOTH PLAYING SURFACE.

5 INSTALL NEW SYNTHETIC TURF PER DETAIL 1 ON SHEET PF04.

(6) BACKFILL, COMPACT AND LEVEL WITH AGGREGATE BASE. SPECIFIC ATTENTION MUST BE GIVEN TO HOME PLATE AREAS, PITCHING AREAS AND BASES, AS WELL AS DUGOUT AND GATE

(7) INSTALL A SMOOTH, FLUSH TRANSITION BETWEEN EXISTING AND PROPOSED SYNTHETIC TURF AND BASE STONE AT OUTFIELD EDGE PER DETAIL 5 ON SHEET PF04.

8 INSTALL PAVERS FOR ACCESS TO FIELDS PER DETAIL 3 ON SHEET PF04.

9 INSTALL 20' WIDE MAINTENANCE ACCESS GATE AT EXISTING 4' TALL FENCE PER DETAIL 5 ON SHEET PF04.

1. ALL COMPETITION REQUIRED STRIPES AND MARKINGS MUST BE INLAID AND MUST MEET THE LATEST REQUIREMENTS OF USA

GENERAL CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF THE BASE IN THE TURF AREAS AND FOR COORDINATION WITH THE TURF INSTALLER'S WORK. TURF INSTALLER MUST SUBMIT COMPLETE SHOP DRAWINGS AND COLOR SAMPLES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF SYNTHETIC TURF. SUBMITTALS FOR SHOP DRAWINGS AND COLOR SAMPLES MUST BE IN ACCORDANCE WITH THE SPECIFICATIONS.

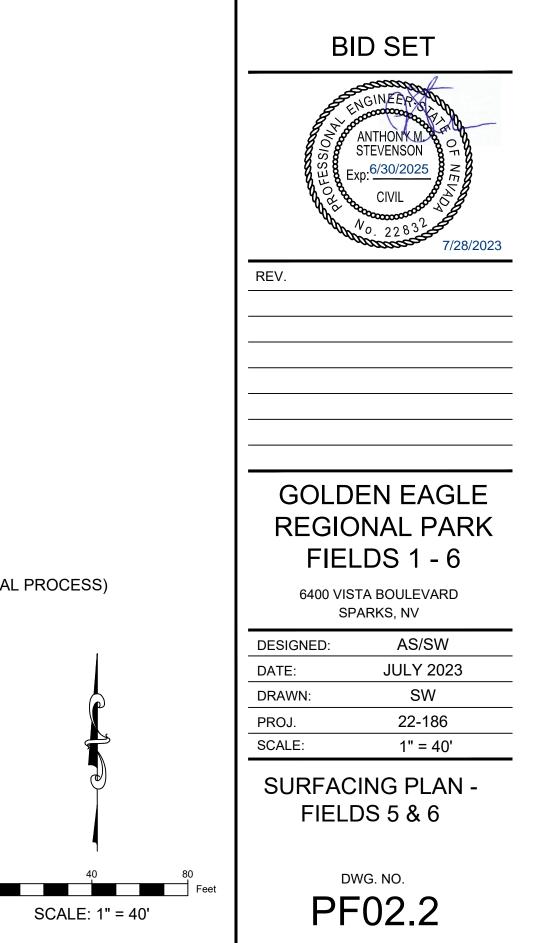
3. THE EXISTING DRAINAGE SYSTEM AND PERIMETER TRENCH DRAINS MUST BE MAINTAINED OR REPAIRED WHERE EVER DAMAGE

SYNTHETIC TURF SURFACE (INFIELD SKIN COLOR TBD BY OWNER DURING SUBMITTAL PROCESS)

LIMITS OF CONSTRUCTION

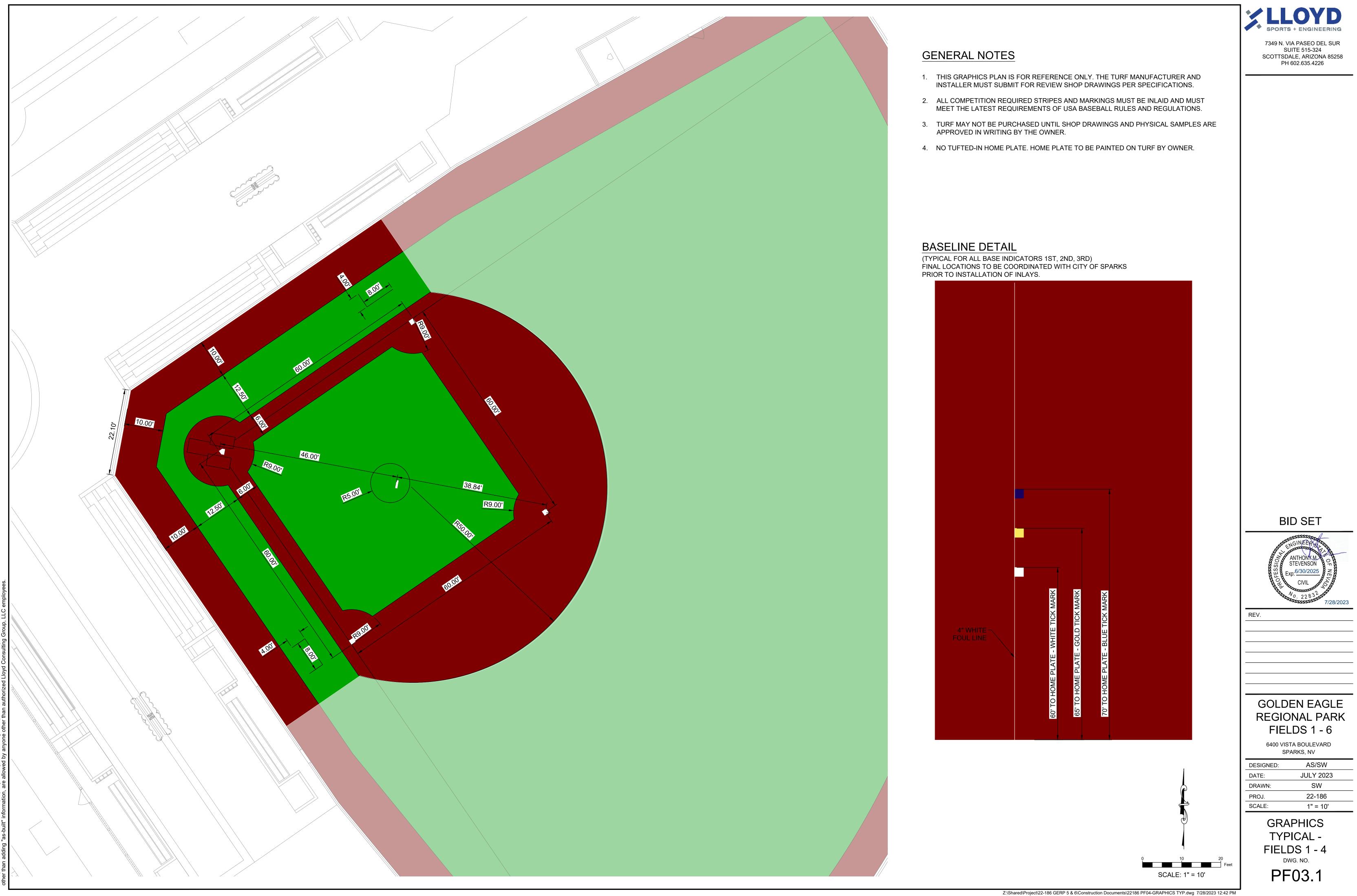
----- EXISTING STORM DRAIN

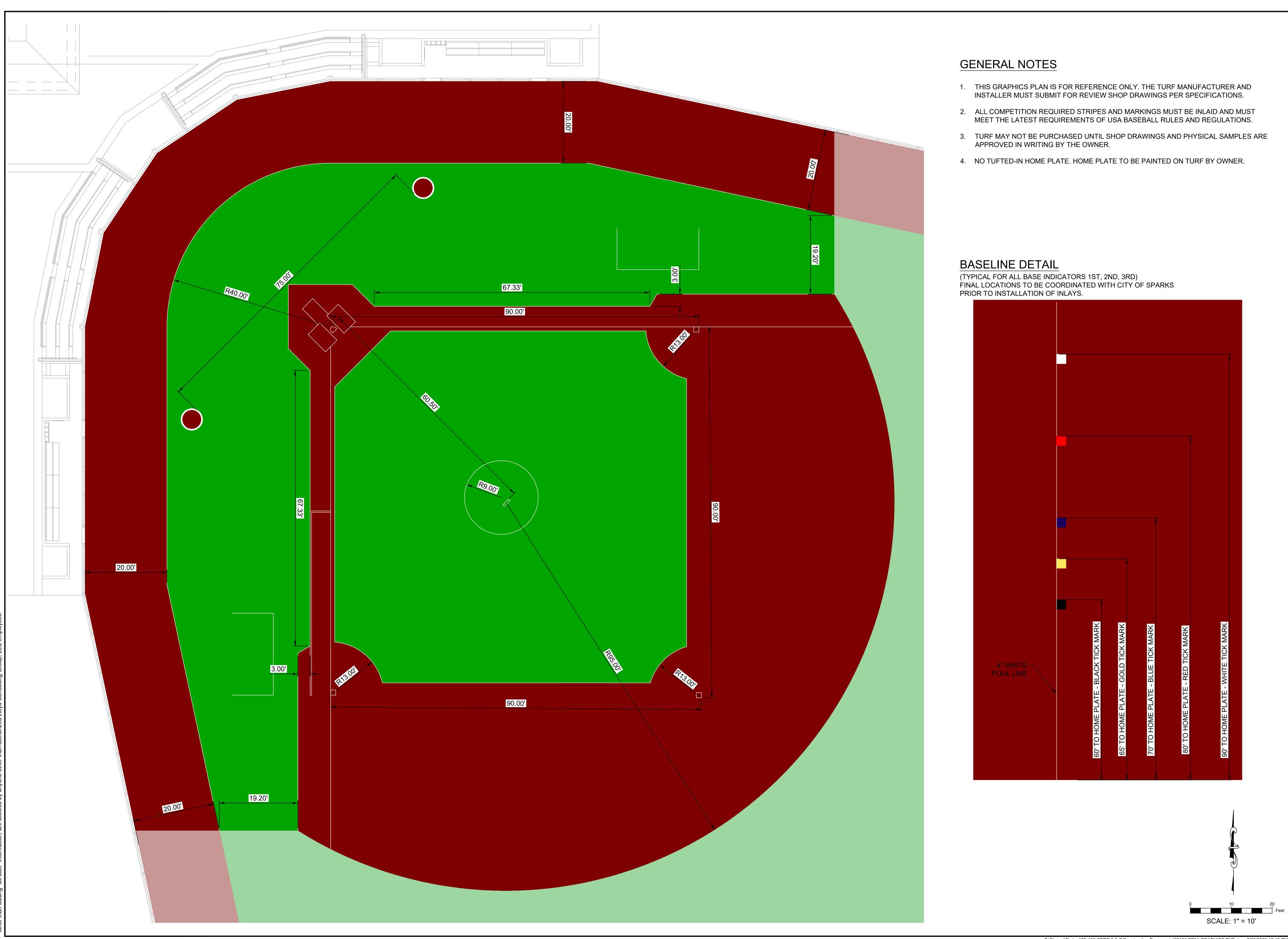




Z:\Shared\Project\22-186 GERP 5 & 6\Construction Documents\22186 PF02-SURFACING.dwg 7/28/2023 12:42 PM

SCALE: 1" = 40'





Z:\Shared\Project\22-186 GERP 5 & 6\Construction Documents\22186 PF04-GRAPHICS TYP.dwg 7/28/2023 12:43 PM



